



**VILLAGE OF KIMBERLY, WI**  
**NOTICE OF VILLAGE BOARD MEETING**

**DATE: Monday, January 6, 2025**  
**TIME: 5:00pm**  
**LOCATION: Village Hall, Rick J. Hermus Council Chambers**  
**515 W. Kimberly Ave.**  
**Kimberly, WI 54136**

Notice is hereby given that a Village Board meeting will be held on Monday, January 6, 2025 at the Village Hall. This meeting is open to the public.

- 1) Call to Order
- 2) Roll Call
- 3) Moment of Silent Reflection, Pledge of Allegiance
- 4) President's Remarks
- 5) Approval of Minutes of the 12/16/2024 meeting
- 6) Unfinished Business
  - a) Change Request #1 in the amount of \$9,806.72 for the Kimberly Street and Parks Department project
- 7) New Business for Consideration or Action
  - a) Change Order #1 in the amount of \$15,795.81 for the 2023 Grading & Graveling Blue Development project
  - b) Conditional Use Permit – Rebman Plumbing Addition located at 700 W Kimberly Avenue
  - c) Site & Architectural Review – Rebman Plumbing Addition located at 700 W Kimberly Avenue
  - d) Site & Architectural Review – Caseys Rental LLC Redevelopment located at 420 S Washington Street
- 8) Reports
  - a) Chief of Police
  - b) Administrator/Director of Public Works
  - c) Community Development Director
  - d) Community Enrichment Director
  - e) Library Director
  - f) Clerk-Treasurer

9) Public Participation

10) Adjournment

**Village Board Meeting Virtual Attendance Information**

Jan 6, 2025, 5:00 – 5:30 PM (America/Chicago)

**Please join my meeting from your computer, tablet or smartphone.**

<https://meet.goto.com/286207437>

**You can also dial in using your phone.**

Access Code: 286-207-437

United States (Toll Free): [1 877 309 2073](tel:18773092073)

United States: [+1 \(646\) 749-3129](tel:+16467493129)

Any person wishing to attend the meeting who because of their disability is unable to attend, is requested to contact the ADA Coordinator at 920-788-7500 at least 48 hours prior to the meeting so that reasonable accommodation may be made.

**VILLAGE OF KIMBERLY  
BOARD MEETING MINUTES  
12/16/2024**

A meeting of the Village Kimberly Board was called to order on Monday, December 16, 2024 at 5:00pm in the Rick J. Hermus Council Chambers, 515 W. Kimberly Ave by President Chuck Kuen.

Board Present: President Chuck Kuen, Trustees Lee Hammen, Norb Karner, Mike Hruzek, Marcia Trentlage, Dave Hietpas and Tom Gaffney

Board Excused: None

Staff Present: Clerk Treasurer Jennifer Weyenberg, Administrator/Public Works Director Danielle Block, Community Development Director Sam Schroeder, Brad Werner of McMahon, and Judy Hebbe, a member of the media.

**President's Remarks**

None

**Approval of Minutes from the 12-09-2024 Meeting**

Trustee Hammen moved, Trustee Trentlage seconded the motion to approve the Village Board minutes from 12-09-2024. Motion carried by unanimous vote of the board.

**2023 Audit Presentation by Erickson & Associates**

Jason Vollrath of Erickson & Associates provided a brief summary of the 2023 Audit submitted to the Village Board.

**Unfinished Business**

None

**New Business**

**Approve 2023 Audit**

Trustee Trentlage moved, Trustee Hammen seconded the motion to approve the 2023 Audit as presented by Erickson & Associates. Motion carried by unanimous vote of the board.

**Change Order #1 in the amount of a \$112,194.00 decrease for the 2022 Utilities Construction Blue Development project**

Trustee Hammen moved, Trustee Gaffney seconded the motion to approve Change Order #1 to decrease the contract amount by \$112,194.00 for the 2022 Utilities Construction Blue Development project. Motion carried by unanimous vote of the board.

**Certificate of Payment #4 (FINAL) to Jossart Brothers, Inc. in the amount of \$332,320.08 for the 2022 Utilities Construction Blue Development project**

Trustee Hammen moved, Trustee Karner seconded the motion to approve the Certificate of Payment #4 (Final) to Jossart Brothers, Inc. in the amount of \$332,320.08 for the 2022 Utilities Construction Blue Development project for work performed through December 6, 2024. Motion carried by unanimous vote of the board.

**Backyard Drainage Improvements- S. Railroad Street and 4th Addition Stonegate Subdivision**  
Trustee Trentlage moved, Trustee Hammen seconded the motion to approve the backyard project along 522, 528 and 534 S. Railroad Street in an amount not to exceed \$60,000 funded by the Storm Water Utility Capital Project Expenses, contingent upon securing drainage easements from the private property owners. Motion carried by unanimous vote of the board.

**Purchase Single-Axle Patrol Truck with Body and Plow Equipment funded by 2025 Street Equipment Trust Fund**

Trustee Hammen moved, Trustee Karner seconded the motion to approve the purchase of the single-axle patrol truck with body and plow equipment from Truck Country in the amount of \$286,264.00 funded by 2025 Street Equipment Trust Fund. Motion carried by unanimous vote of the board.

**Application for Payment #3 to SMA Construction Services in the amount of \$430,549.50 for Kimberly Street and Parks Department project**

Trustee Trentlage moved, Trustee Gaffney seconded the motion to approve payment #3 to SMA Construction Services in the amount of \$430,549.50 for Kimberly Street and Parks Department project for work performed through November 30, 2024. Motion carried by unanimous vote of the board.

**Change Request #1 in the amount of \$9,806.72 for the Kimberly Street & Parks Dept project**

There was discussion amongst the board regarding the cost associated with this request and the lack of detail given, therefore, there was no action taken and will be moved to unfinished business at the next meeting for further consideration.

**Change Request #2 in the amount of \$489.38 for the Kimberly Street & Parks Dept project**

Trustee Hammen moved, Trustee Gaffney seconded the motion to approve Change Request #2 in the amount of \$489.38 for the Kimberly Street and Parks Department project. This change request would allow the connection to a second hot water pressure washer in the future if desired. Motion carried by unanimous vote of the board.

**WE Energies Consent to Electric Easement- Parcel 250176900**

Trustee Hammen moved, Trustee Trentlage seconded the motion to approve the WE Energies Consent to Electric Easement – Parcel 250176900. Motion carried by unanimous vote of the board.

**Bills and Claims for November 2024**

Trustee Hammen moved, Trustee Gaffney seconded the motion to approve the bills and claims for the month of November 2024. Motion carried by unanimous vote of the board.

**Public Participation**

None

**Closed Session**

Trustee Hammen moved, Trustee Karner seconded the motion to enter closed session pursuant to State Statute 19.85 (1)(e) to deliberate the purchase of property located in TIF District No. 6. Motion carried by unanimous vote of the board at 5:21pm.

Trustee Hammen moved, Trustee Gaffney seconded the motion to reconvene into open session. Motion carried by unanimous vote of the board at 5:50pm.

No action was taken on closed session matters.

**Adjournment**

Trustee Hammen moved, Trustee Karner seconded the motion to adjourn. Motion carried by unanimous vote at 5:50pm.

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Jennifer Weyenberg  
Village Clerk-Treasurer

Dated 12/17/24  
Drafted by: ELZ  
Approved by Village Board: \_\_\_\_\_



## Village of Kimberly REQUEST FOR BOARD CONSIDERATION

**ITEM DESCRIPTION:** Street & Parks Facility Change Order #1 – Modify Gas Piping

**REPORT PREPARED BY:** Danielle Block, Administrator/DPW

**REPORT DATE:** December 23, 2024

**ADMINISTRATOR'S REVIEW / COMMENTS:**

**No additional comments to this report** \_\_\_\_\_ *DLB*

**See additional comments attached** \_\_\_\_\_

**EXPLANATION:**

Following the December 16, 2024, Board Meeting, there were several questions to follow up on regarding Change Order #1 for the Street and Parks Facility. Staff worked with the designer to provide the following context and information related to the Change Order:

This Change Order was requested by Village DPW Staff and supplies gas services to the ancillary storage garage "Chicken Coop." The gas service will be used to heat the facility year-round and properly maintain and store Street & Parks equipment. In order to supply the gas service there is more piping required, and the existing piping needed to be upsized along with the meter due to the large gas load by adding the Chicken Coop furnaces.

1. How many additional feet of gas piping? *The Chicken Coop sits about 50 feet from the future north side of the Street & Parks Building. However, the additional work goes beyond 50 feet of piping. The piping within the project itself would be upsized and the meter would also be upsized due to the larger gas load required. A detailed cost estimate breakdown from B&P Mechanical is included illustrating the cost as originally designed and the cost based on the potential modification to heat the Chicken Coop.*
2. Why does the piping have to be painted? And what type of paint? *Contract specifications require the type and locations of painting required. All piping exposed to view is scheduled to be painted by contract specification. This piping would be no different than the rest of the contract.*
3. Why does the cost appear to be so high? *While the CO is significant, the cost to supply gas service to the Chicken Coop at a later date would be higher.*
4. 32 hours of labor – is this to install or to paint? *The 32 hours is the effort by the mechanical contractors to install the piping from the source in the shop out to the shed.*

**RECOMMENDED ACTION:** Approve Change Order #1 for the Street and Parks Facility.

## Change Order Proposal

PROJECT NUMBER: 24019  
 DATE: 11/19/2024  
 CO#: PCI CB2

Subcontractor / Supplier: **B & P Mechanical Inc**

Email: [Jeremy@b-pmechanical](mailto:Jeremy@b-pmechanical)  
 Phone: 920-850-6526

**PRICING FOR CO**  
 Valid through 30 Days

**Description:** CB 2 Modify gas pipe sizes and route gas pipe undergrout to "chicken coop"

**Self-Perform Work:**

Description	Quantity	Labor			Materials	Equipment		Totals
		Total Hours	Hourly Rate	Total Labor	Total	Type	Total	
1 Field Labor	1	32	\$ 105.00	\$ 3,360.00	\$ 891.00			\$ 4,251.00
2 Excavation	1		\$ -	\$ -				\$ 1,450.00
3				\$ -				\$ -
4				\$ -				\$ -
5				\$ -				\$ -
Subtotal								5,701.00
Overhead Profit & Markup (_7%_)								399.07
Total Contractor cost with markup								6,100.07

**Sub-Tier Subcontractors:**

Description	Quantity	Total Hours	Hourly Rate	Total Labor	Material	Equipment Type	Equip Total	
1		0		0				
2								0
3								0
Subtotal								0
Subcontractor markup (____3.5%____)								0
Total Subcontractor cost with markup								0
<b>Total</b>								<b>6100.07</b>

**Schedule Impact:**  Calendar Days

Additional Comments:

Project Manager

Qty.	Description	Price Ea.	Total
<b>Quote</b>			
-8	Original Labor (No Welding)	\$105.00	(\$840.00)
	Misc Labor	\$105.00	\$0.00
40	New Labor (Welding)	\$105.00	\$4,200.00
	Labor Subtotal:		\$3,360.00
1	Original Pipe (quote attached)	(\$912.00)	(\$912.00)
1	New Pipe(quote attached)	\$1,678.00	\$1,678.00
1	Consumables	\$125.00	\$125.00
1	Excavation	\$1,450.00	\$1,450.00
	Subtotal:		\$2,341.00
0.0%	Sales Tax:		\$0.00
	Total Contractor Work:		\$5,701.00
1	Sub - Delivery		\$0.00
1	Sub		\$0.00
1	Sub		\$0.00
1	Sub		\$0.00
	Total Subcontractor Cost:		\$0.00
	Subtotal		\$5,701.00
7%	Overhead & Profit		\$399.07
	<b>TOTAL QUOTE:</b>		<b>\$6,100.07</b>



**Dave Head**

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**From:** gary.baumann@ferguson.com  
**Sent:** Wednesday, November 13, 2024 1:51 PM  
**To:** Dave Head  
**Subject:** FW: Email Bid# B151525

Dave,

See below for Kimberly new way quote.

Thank you,

Gary Baumann  
Quotations Coordinator  
Ferguson 0448  
2300 North Sandra Street  
Appleton WI 54911  
Direct Line **920-243-7940**  
E:gary.baumann@ferguson.com

www.ferguson.com

**From:** Gary Baumann II - 448 OHVAL <gary.baumann@ferguson.com>  
**Sent:** Wednesday, November 13, 2024 1:50 PM  
**To:** Gary Baumann II <gary.baumann@ferguson.com>  
**Subject:** Email Bid# B151525

**Price Quotation # B151525**

**FERGUSON ENTERPRISES LLC #448**

2300 North Sandra Street  
Appleton, WI 54911

Phone : 920-830-8000  
Fax : 920-830-8010

**Bid No.....:** B151525  
**Bid Date...:** 11/13/24  
**Quoted By:** GFB  
**Customer.:** M & P MECHANICAL INC  
DBA B & P MECHANICAL INC  
PO BOX 2002  
APPLETON, WI 54912-2002

**Cust Phone:** 920-733-3303  
**Terms.....:** NET 10TH PROX  
**Ship To.....:** M & P MECHANICAL INC  
DBA B & P MECHANICAL INC  
PO BOX 2002  
APPLETON, WI 54912-2002

**Cust PO#..:** RFQ

**Job Name.:** KIMBERLY NEW WAY

Item	Description	Quantity	Net Price	UM	Total
DBPPEA53BL	2-1/2 BLK BE A53B S40 ERW SRL PIPE	42	478.500	C	200.97

DBPTCA53K	2 BLK T&C A53 S40 PIPE	42	395.600	C	166.15
DBPTCA53J	1-1/2 BLK T&C A53 S40 PIPE	126	349.350	C	440.18
DBPTCA53H	1-1/4 BLK T&C A53 S40 PIPE	21	290.700	C	61.05
GW9L	2-1/2 CS STD WLD LR 90 ELL	4	3.474	EA	13.90
IB9J	1-1/2 BLK MI 150# 90 ELL	4	5.373	EA	21.49
IBTLLJ	2-1/2X2-1/2X1-1/2 BLK MI 150# TEE	1	35.434	EA	35.43
IBTKGJ	2X1X1-1/2 BLK MI 150# TEE	1	16.619	EA	16.62
IBTJHG	1-1/2X1-1/4X1 BLK MI 150# TEE	1	9.121	EA	9.12
IBTHFG	1-1/4X3/4X1 BLK MI 150# TEE	1	8.310	EA	8.31
BXSNJU	1-1/2X6 BLK XH SMLS A106 NIP	1	14.394	EA	14.39
IBCJ	1-1/2 BLK MI 150# COUP	2	4.903	EA	9.81
FSTHCK	2 FS 3000# THRD HALF COUP	1	6.698	EA	6.70
MBA475BJ	*NP 1-1/2 BRS CP 600# THRD FP BV	2	53.362	EA	106.72
	SUBTOTAL				1110.84
DBPTCA53G	1 BLK T&C A53 S40 PIPE	63	215.475	C	135.75
IB9G	1 BLK MI 150# 90 ELL	4	2.522	EA	10.09
IBTG	1 BLK MI 150# TEE	1	3.863	EA	3.86
PEI11MG100	1X100 IPS DR11 MDPE GAS PIPE	100	86.665	C	86.67
C145391461425	1 SDR11 GAS ANDLS IPS RSR W/ COUP	2	149.875	EA	299.75
IB9G	1 BLK MI 150# 90 ELL	1	2.522	EA	2.52
MBA475BG	*NP 1 BRS CP 600# THRD FP BV	1	26.474	EA	26.47
BCICPG	1 BLK CI CORED SQ HD PLUG	1	2.037	EA	2.04
	SUBTOTAL				567.15

Subtotal: \$1677.99  
Inbound Freight: \$0.00  
Tax: \$92.30  
Order Total: \$1770.29

**Quoted prices are based upon receipt of the total quantity for immediate shipment (48 hours). SHIPMENTS BEYOND 48 HOURS SHALL BE AT THE PRICE IN EFFECT AT TIME OF SHIPMENT UNLESS NOTED OTHERWISE. QUOTES FOR PRODUCTS SHIPPED FOR RESALE ARE NOT FIRM UNLESS NOTED OTHERWISE.**

**CONTRACTOR CUSTOMERS: IF YOU HAVE DBE/MBE/WBE/VBE/SDVBE/SBE GOOD FAITH EFFORTS DIVERSITY GOALS/ REQUIREMENTS ON A FEDERAL, STATE, LOCAL GOVERNMENT, PRIVATE SECTOR PROJECT, PLEASE CONTACT YOUR BRANCH SALES REPRESENTATIVE IMMEDIATELY PRIOR TO RECEIVING A QUOTE/ORDER.**

**Seller not responsible for delays, lack of product or increase of pricing due to causes beyond our control, and/or based upon Local, State and Federal laws governing type of products that can be sold or put into commerce. This Quote is offered contingent upon the Buyer's acceptance of Seller's terms and conditions, which are incorporated by reference and found either following this document, or on the web at <https://www.ferguson.com/content/website-info/terms-of-sale>. Govt Buyers: All items quoted are open market unless noted otherwise.**

**Dave Head**

---

**From:** gary.baumann@ferguson.com  
**Sent:** Wednesday, November 13, 2024 1:51 PM  
**To:** Dave Head  
**Subject:** FW: Email Bid# B151770

Dave,

See below for your Kimberly Old way quote.

Thank you,

Gary Baumann  
Quotations Coordinator  
Ferguson 0448  
2300 North Sandra Street  
Appleton WI 54911  
Direct Line **920-243-7940**  
E:gary.baumann@ferguson.com

www.ferguson.com

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**Sent:** Wednesday, November 13, 2024 1:49 PM  
**To:** Gary Baumann II <gary.baumann@ferguson.com>  
**Subject:** Email Bid# B151770

**Price Quotation # B151770**

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2300 North Sandra Street  
Appleton, WI 54911

Phone : 920-830-8000  
Fax : 920-830-8010

**Bid No.....:** B151770  
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**Quoted By:** GFB  
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DBA B & P MECHANICAL INC  
PO BOX 2002  
APPLETON, WI 54912-2002

**Cust Phone:** 920-733-3303  
**Terms.....:** NET 10TH PROX  
**Ship To.....:** B&P MECHANICAL  
3200 W HIGHVIEW DR  
APPLETON, WI 54914

**Cust PO#..:** RFQ

**Job Name.:** KIMBERLY OLD WAY

Item	Description	Quantity	Net Price	UM	Total
DBPTCA53K	2 BLK T&C A53 S40 PIPE	42	395.600	C	166.15

DBPTCA53J	1-1/2 BLK T&C A53 S40 PIPE	42	349.350	C	146.73
DBPTCA53H	1-1/4 BLK T&C A53 S40 PIPE	126	290.700	C	366.28
DBPTCA53G	1 BLK T&C A53 S40 PIPE	21	215.475	C	45.25
IB9K	2 BLK MI 150# 90 ELL	4	9.206	EA	36.82
IB9H	1-1/4 BLK MI 150# 90 ELL	3	4.082	EA	12.25
IBTKJJ	2X1-1/2X1-1/2 BLK MI 150# TEE	1	16.296	EA	16.30
IBTJGH	1-1/2X1X1-1/4 BLK MI 150# TEE	1	10.643	EA	10.64
IBTHGG	1-1/4X1X1 BLK MI 150# TEE	1	7.832	EA	7.83
IBCH	1-1/4 BLK MI 150# COUP	2	3.676	EA	7.35
MBA475BH	*NP 1-1/4 BRS CP 600# THRD FP BV	1	42.462	EA	42.46
MBA475BJ	*NP 1-1/2 BRS CP 600# THRD FP BV	1	53.362	EA	53.36

Subtotal: \$911.42  
Inbound Freight: \$0.00  
Tax: \$50.14  
Order Total: \$961.56

Quoted prices are based upon receipt of the total quantity for immediate shipment (48 hours). SHIPMENTS BEYOND 48 HOURS SHALL BE AT THE PRICE IN EFFECT AT TIME OF SHIPMENT UNLESS NOTED OTHERWISE. QUOTES FOR PRODUCTS SHIPPED FOR RESALE ARE NOT FIRM UNLESS NOTED OTHERWISE.

CONTRACTOR CUSTOMERS: IF YOU HAVE DBE/MBE/WBE/VBE/SDVBE/SBE GOOD FAITH EFFORTS DIVERSITY GOALS/ REQUIREMENTS ON A FEDERAL, STATE, LOCAL GOVERNMENT, PRIVATE SECTOR PROJECT, PLEASE CONTACT YOUR BRANCH SALES REPRESENTATIVE IMMEDIATELY PRIOR TO RECEIVING A QUOTE/ORDER.

Seller not responsible for delays, lack of product or increase of pricing due to causes beyond our control, and/or based upon Local, State and Federal laws governing type of products that can be sold or put into commerce. This Quote is offered contingent upon the Buyer's acceptance of Seller's terms and conditions, which are incorporated by reference and found either following this document, or on the web at <https://www.ferguson.com/content/website-info/terms-of-sale>. Govt Buyers: All items quoted are open market unless noted otherwise.

LEAD LAW WARNING: It is illegal to install products that are not "lead free" in accordance with US Federal or other applicable law in potable water systems anticipated for human consumption. Products with \*NP in the description are NOT lead free and can only be installed in non-potable applications. Buyer is solely responsible for product selection. Buyer shall accept delivery of products within 60 days of Seller receiving the products at Seller's warehouse. If Buyer causes or requests a delay in delivery of the products, Buyer may be subject to storage fees and additional costs caused by such delay. Seller reserves the right to requote the products and reschedule the delivery date, subject to manufacturer's lead times and price increases, if Buyer is unable to accept delivery within 60 days.

**HOW ARE WE DOING? WE WANT YOUR FEEDBACK!**

Enter the following link to complete a survey about your bids:  
<https://survey.medallia.com/?bidsorder&fc=448&on=436961>



# CHANGE REQUEST

NUMBER: 1

TO: Trevor Frank, AIA  
Short Elliot Hendrickson Inc.

Job: 24020 - VoK Street and Parks Department  
Date: 12.10.2024

CC: Stephanie Abhold

DESCRIPTION: CB #2 - Modify Gas Piping

BP Mechanical - Attached \$6,100.07

Spies Painting - Attached \$3,235.00

Subtotal: \$9,335.07

Mark-up: \$326.73

Bond: \$144.93

Requesting CONTRACT TIME increase / decrease by NA.

TOTAL: \$9,806.72

The Owner and/or Architect hereby direct SMA Construction Services, LLC to proceed with the performance of the work (including any additional referenced documentation) described above.

**SUBMITTED BY CONTRACTOR:**

Kevin Winkler  
SMA Construction Services

BY: Kevin Winkler

Date: 12.10.2024

**ACCEPTED BY ARCHITECT**

Trevor Frank, AIA  
Short Elliot Hendrickson Inc.

BY: 

Date: 12/10/2024

**AUTHORIZED BY OWNER:**

Danielle Block, P.E.  
Village Of Kimberly

BY: \_\_\_\_\_

Date: \_\_\_\_\_



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## ARCHITECT'S CONSTRUCTION BULLETIN

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**PROJECT:**

Kimberly Street and Parks Department Facility

**CONSTRUCTION BULLETIN NO.:** 02

**DATE OF ISSUANCE:** November 1, 2024

**OWNER:** Village of Kimberly

**PROJECT NO.:** KIMBV 171196

**TO:** SMA Construction Services  
201 W. Walnut St., Ste 301  
Green Bay, WI 54303  
920-438-3833 phone

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This Construction Bulletin is issued for the purpose of investigating a potential change in the work. You are requested to review the proposed changes and advise this office of any change in the contract price incorporating any addition, deduction or no change that may result. If the proposed changes are to be made, a change order will be issued. Indicate change in Contract Time, if appropriate: \_\_\_\_\_ . This is not a Change Order or direction to proceed with proposed changes.

### DRAWING REVISIONS AND CLARIFICATIONS

**1. Sheet H301**

- a. Modify gas pipe sizes per attached drawing.
- b. Modify gas meter capacity per attached drawing.

**2. Sheet H302**

- a. Furnish and install gas piping from the Wash Bay to the metal "chicken coop" storage building per attached drawing.
- b. Modify gas pipe sizes per attached drawing.

**3. Sheet H402**

- a. Modify gas pie sizes per attached drawing.

Attachments:

H301, H302, H402

Add or  Deduct  No Change \$ 9,806.72

Contractor Signature: Kevin Winkler - PM

Company: SMA Construction Services

Date: 12/10/2024

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ISSUED BY: James Lynch, Architect

**SPIES**  
PAINTING INC.  
— SINCE 1933 —

SMA Construction Services, LLC  
Attn: Kevin Winkler  
Email: [kevin@smaconstructionservices.com](mailto:kevin@smaconstructionservices.com)

December 10, 2024

RE: Kimberly Street & Parks Facility CB-02

Prepare and paint additional gas piping per drawings.

<i>Labor</i>	\$2,620.00
<i>Materials</i>	\$ 340.00
<i>Equipment</i>	\$ 275.00

<i>Total Cost</i>	\$3,235.00
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Respectfully submitted,



Erik Spies  
President



December 17, 2024

Village of Kimberly  
Attn: Jennifer Weyenberg, Clerk-Treasurer  
Email: [jweyenberg@vokimberlywi.gov](mailto:jweyenberg@vokimberlywi.gov)

Re: Village of Kimberly  
The Blue Development  
2023 Grading & Graveling  
Change Order #1  
McM. No. K0001-09-21-00400.02

Dear Jennifer:

Enclosed herewith is Change Order #1 for the above referenced project. This change is an increase in the Contract in the amount of \$15,795.81. The current Contract Price is \$988,875.32.

Please review and sign in the space provided. **Return a signed copy to our office**, and we will distribute accordingly.

Should you have any questions, please contact our office at your convenience.

Respectfully,

McMahon Associates, Inc.

A handwritten signature in black ink that reads "Brad Werner".

Brad D. Werner, P.E.  
Vice President / Sr Municipal Engineer

BDW:car

cc: Danielle Block, DPW – Village of Kimberly

Enclosure: Change Order #1



# McMAHON

**ENGINEERS ARCHITECTS**

1445 MCMAHON DRIVE P.O. BOX 1025  
 NEENAH, WI 54956 NEENAH, WI 54957-1025

## CHANGE ORDER

McMAHON ASSOCIATES, INC.

TELEPHONE: 920.751.4200  
 FAX: 920.751.4284

MCC, INC.  
 2600 N. Roemer Road  
 PO Box 1137  
 Appleton, WI 54912-1137

Contract No. K0001-09-21-00400.02  
 Project File No. K0001-09-21-00400.02  
 Change Order No. One (1)  
 Issue Date: December 13, 2024  
 Project: Village of Kimberly | The Blue Dev.  
2023 Grading & Graveling

**You Are Directed To Make The Changes Noted Below In The Subject Contract:**

	(Item Description)	(Price)
1.1	See Attached Final Quantities Spreadsheet	+ \$15,795.81
<b>TOTAL</b>		<b>+ \$15,795.81</b>


**The Changes Result In The Following Adjustments:**


	CONTRACT PRICE	TIME
Prior To This Change Order	<u>\$973,079.51</u>	<u>-</u> days
Adjustments Per This Change Order	<u>+ \$15,795.81</u>	<u>0</u> days
Current Contract Status	<u><b>\$988,875.32</b></u>	<u>-</u> days

Recommended:  
**McMAHON ASSOCIATES, INC.**  
 Neenah, Wisconsin

Accepted:  
**MCC, INC.**  
 Wisconsin

Authorized:  
**VILLAGE OF KIMBERLY**  
 Wisconsin

By:   
 Date: 12-13-24

By:   
 Date: 12/17/24

By: \_\_\_\_\_  
 Date: \_\_\_\_\_

- OWNER Copy
- CONTRACTOR Copy
- ENGINEER Copy (Contract Copy)
- FILE COPY

Four (4) Copies Should Accompany This Change Order  
**Execute And Return To ENGINEER For Distribution**

# FINAL QUANTITIES

**VILLAGE OF KIMBERLY**  
 2023 Grading & Graveling | The Blue Development  
 Contract No. K0001-09-21-00400.02

**Engineer:** McMAHON ASSOCIATES, INC.  
 1445 McMahon Drive  
 PO Box 1025  
 Neenah, WI 54956 / 54957-1025

MCC, INC.  
 2600 N. Roemer Road  
 PO Box 1137  
 Appleton, WI 54912-1137

## STREET GRADING & GRAVELING

Item	Description	Qty	Unit
1.	Mobilization, Insurance, and Bonding	1	L.S.
2.	Common Excavation	1	L.S.
3.	Excavation Below Subgrade	200	C.Y.
4.	New Base Aggregate Dense 1-1/4 Inch	3,250	TON
5.	Place 12 Inch Layer of Salvaged Base Course	4,000	S.Y.
6.	Preliminary Grading and Shaping of Street Terraces and Utility Easements (Est. 11,225 S.Y.)	1	L.S.
7.	Final Grading / Pulverizing / Seeding Terraces and Utility Easements (Est. 11,225 S.Y.)	1	L.S.
8.	E-Mat Terraces	4,770	S.Y.
9.	Grade / Pulverize / Seed / Mulch Private Developed Areas (Est. 37,365 S.Y.)	1	L.S.
10.	Inlet Protection	1	L.S.
11.	Silt Fence	2,666	L.F.

**SUB-TOTAL (Items 1. through 11., Inclusive)**

Bid Quantities		Total
Unit Price		
\$20,000.00	\$20,000.00	\$20,000.00
\$59,825.00	\$59,825.00	\$59,825.00
\$13.50	\$2,700.00	\$2,700.00
\$13.40	\$43,550.00	\$43,550.00
\$4.20	\$16,800.00	\$16,800.00
\$4,642.99	\$4,642.99	\$4,642.99
\$11,116.82	\$11,116.82	\$11,116.82
\$1.15	\$5,485.50	\$5,485.50
\$20,560.00	\$20,560.00	\$20,560.00
\$3,192.00	\$3,192.00	\$3,192.00
\$2.00	\$5,332.00	\$5,332.00
		<b>\$193,204.31</b>

**\$135,445.16**

## PAPERMILL RUN TRAIL

Item	Description	Qty	Unit
12.	Mobilization, Insurance, and Bonding	1	L.S.
13.	Cleaning and Grubbing (Est. .3 Acres)	1	L.S.
14.	Common Excavation	1	L.S.
15.	Geotechnical Engineer / Letter of Opinion	1	L.S.
16.	Excavation Below Subgrade	200	C.Y.
17.	12 Inch SDR 35 PVC Storm Sewer	26	L.F.
18.	36 Inch Diameter Storm Catch Basin and Casting	1	Ea.
19.	New Base Aggregate Dense 1-1/4 Inch	750	TON
20.	6 Inch Layer of Salvaged Base Course	2,000	S.Y.
21.	5 Inch Thickened Edge Concrete Trail	4,615	S.F.
22.	5 Inch Microfiber Concrete Trail	27,816	S.F.
23.	Adjustment of Sanitary/Storm Manholes Shown on Plans	1	L.S.
24.	4 Inch Pulverized Topsoil, No-Mow Fescue Seed, Fertilizer and E-Mat (Est. 2,560 S.Y.)	1	L.S.
25.	4 Inch Pulverized Topsoil, Seed Mix #4, Fertilizer and E-Mat (Est. 525 S.Y.)	1	L.S.
26.	6 Inch Pulverized Topsoil, Rye Seed, and E-Mat (Est. 2,975 S.Y.)	1	L.S.
27.	Pulverize / Seed / Mulch / Adjacent to Trail Easement (Est. 2,775 S.Y.)	1	L.S.
28.	Silt Fence	2,750	L.F.
29.	Medium Rip Rap	15	TON
30.	Furnish and Install Trail Railing	710	L.F.
31.	Install 2' x 2' Limestone	150	L.F.

**SUB-TOTAL (Items 11. through 31., Inclusive)**

Bid Quantities		Total
Unit Price		
\$20,000.00	\$20,000.00	\$20,000.00
\$14,500.00	\$14,500.00	\$14,500.00
\$15,500.00	\$15,500.00	\$15,500.00
\$6,325.00	\$6,325.00	\$6,325.00
\$13.50	\$2,700.00	\$2,700.00
\$95.00	\$2,470.00	\$2,470.00
\$3,500.00	\$3,500.00	\$3,500.00
\$14.40	\$10,800.00	\$10,800.00
\$2.60	\$5,200.00	\$5,200.00
\$6.71	\$30,966.65	\$30,966.65
\$7.00	\$194,712.00	\$194,712.00
\$15,000.00	\$15,000.00	\$15,000.00
\$5,660.00	\$5,660.00	\$5,660.00
\$1,575.00	\$1,575.00	\$1,575.00
\$28,330.00	\$28,330.00	\$28,330.00
\$5,550.00	\$5,550.00	\$5,550.00
\$2.25	\$6,187.50	\$6,187.50
\$41.00	\$615.00	\$615.00
\$68.70	\$48,777.00	\$48,777.00
\$52.00	\$7,800.00	\$7,800.00
		<b>\$426,168.15</b>

**\$406,909.65**

# FINAL QUANTITIES

**VILLAGE OF KIMBERLY**  
 2023 Grading & Graveling | The Blue Development  
 Contract No. K0001-09-21-00400.02

**Engineer:** McMAHON ASSOCIATES, INC.  
 1445 McMahon Drive  
 PO Box 1025  
 Neenah, WI 54956 / 54957-1025

MCC, INC.  
 2600 N. Roemer Road  
 PO Box 1137  
 Appleton, WI 54912-1137

## POND CONSTRUCTION

Item	Description	Qty	Unit
32.	Mobilization, Insurance, and Bonding	1	L.S.
33.	Common Excavation	1	L.S.
34.	Haul Contaminated Soils to Outagamie County Landfill	2,904	TON
35.	24 Inch Clay Liner	1,800	S.Y.
36.	Geotechnical Engineer / Letter of Opinion	1	L.S.
37.	36 Inch Class III RCP Storm Sewer with Joint Ties	101	L.F.
38.	Slurry Backfill 36 Inch Storm Outfall Per Plan Detail	1	L.S.
39.	36 Inch RCP Apron Endwall with Trash Guard	2	Ea.
40.	Storm Manhole A	1	L.S.
41.	Outlet Structure with Trash Racks	1	L.S.
42.	Medium Rip Rap	80	TON
43.	12 Inch Pulverized Topsoil for Safety Shelf (Est. 1,768 S.Y.)	1	L.S.
44.	6 Inch Pulverized Topsoil, Seed, E-mat for Prairie Areas (Est. 4,855 S.Y.)	1	L.S.
45.	Pulverize Existing Soil / Rye Seed / E-Mat (Est. 3,165 S.Y.)	1	L.S.
46.	Final Deconsolidation of Safety Shelf Topsoil	1	L.S.
47.	Final Deconsolidation of Prairie Area Topsoil	1	L.S.
48.	Pond Erosion Control (Est. Silt Fence 1,505 L.F.)	1	L.S.

**SUB-TOTAL (Items 32. through 48., Inclusive)**

**TOTAL CONTRACT**

## EXTRA

Item	Description	Qty	Unit
1.1	Place 12 Inch Layer of Salvaged Base Course	0	S.Y.

**SUB-TOTAL (Items 32. through 48., Inclusive)**

**TOTAL CONTRACT**

Bid Quantities		Final Quantities	
Unit Price	Total	Qty	Total
\$20,000.00	\$20,000.00	1.00	\$20,000.00
\$150,925.00	\$150,925.00	1.00	\$150,925.00
\$7.70	\$22,360.80	6,273.30	\$48,304.41
\$15.00	\$27,000.00	1,285.00	\$19,275.00
\$8,290.00	\$8,290.00	1.00	\$8,290.00
\$315.00	\$31,815.00	101.00	\$31,815.00
\$3,000.00	\$3,000.00	1.00	\$3,000.00
\$5,000.00	\$10,000.00	2.00	\$10,000.00
\$9,800.00	\$9,800.00	1.00	\$9,800.00
\$20,500.00	\$20,500.00	1.00	\$20,500.00
\$25.00	\$2,000.00	52.89	\$1,322.25
\$8,615.00	\$8,615.00	1.00	\$8,615.00
\$28,665.00	\$28,665.00	1.00	\$28,665.00
\$6,500.00	\$6,500.00	1.00	\$6,500.00
\$300.00	\$300.00	1.00	\$300.00
\$550.00	\$550.00	1.00	\$550.00
\$3,386.25	\$3,386.25	1.00	\$3,386.25
<b>\$353,707.05</b>		<b>\$371,247.91</b>	
<b>\$973,079.51</b>		<b>\$913,602.72</b>	

Bid Quantities		Final Quantities	
Unit Price	Total	Qty	Total
\$8.84	\$0.00	8,515.00	\$75,272.60
<b>\$0.00</b>		<b>\$75,272.60</b>	
<b>\$973,079.51</b>		<b>\$988,875.32</b>	



## Village of Kimberly Request for Board Consideration

<b>ITEM DESCRIPTION:</b> Conditional Use Application – Rebman Plumbing Expansion, 700 W Kimberly Ave
<b>REPORT PREPARED BY:</b> Sam Schroeder, Community Development Director
<b>REPORT DATE:</b> January 6, 2025
<b>ADMINISTRATOR'S REVIEW / COMMENTS:</b>  <div style="margin-left: 40px;"> <p>No additional comments to this report <u>          DLB          </u></p> <p>See additional comments attached <u>                  STS                  </u></p> </div>
<p><b>EXPLANATION:</b> On May 6, 2024, the Village Plan Commission held a public hearing and considered the conditional approval of a development plan for the former carwash site at 700 W Kimberly Ave. This conditional use permit was never forwarded to the Village Board for final consideration.</p> <p>Attached is the full Plan Commission staff report and materials.</p> <p>Additional comments:          With the understanding that the full building plan, site plan and drainage retention plan would be submitted for review, the Plan Commission approved the Site Plan only with the following conditions:</p> <ol style="list-style-type: none"> <li>1. No noise between the hours of 10pm and 7am</li> <li>2. No delivery of goods between the hours of 10pm and 7am, which would cause noise. Ex: trucks reversing, noisy machinery to unload goods, etc.</li> <li>3. No glares, odors, fumes, or vibrations at any time from the property.</li> <li>4. Approval of a full site plan from staff.</li> </ol> <p>Staff would recommend modifying the last condition from staff approval to just approval as well as adding two conditions regarding outdoor storage of goods.</p> <ol style="list-style-type: none"> <li>1. All storage of materials shall be held within the enclosed buildings.</li> <li>2. All storage of work vehicles, trailers and other equipment shall be stored within the enclosed building or the rear of the building outside of the general public view.</li> </ol>
<p><b>RECOMMENDED ACTION:</b> Confirm the Plan Commission recommendation for approval of the conditional use permit with the following conditions and added staff recommendations:</p> <ol style="list-style-type: none"> <li>1. No noise between the hours of 10pm and 7am</li> <li>2. No delivery of goods between the hours of 10pm and 7am, which would cause noise. Ex: trucks reversing, noisy machinery to unload goods, etc.</li> <li>3. No glares, odors, fumes, or vibrations at any time from the property.</li> <li>4. Approval of a full site plan</li> <li>5. All storage of materials shall be held within the enclosed buildings.</li> <li>6. All storage of work vehicles, trailers and other equipment shall be stored within the enclosed building or the rear of the building outside of the general public view.</li> </ol>



## Village of Kimberly REQUEST FOR Plan Commission Consideration

<b>ITEM DESCRIPTION:</b> Conditional Use Application for 700 W Kimberly Ave.
<b>REPORT PREPARED BY:</b> Greg Ulman
<b>REPORT DATE:</b> May 6, 2024
<b>ADMINISTRATOR'S REVIEW / COMMENTS:</b>  <p><b>No additional comments to this report</b> _____</p> <p><b>See additional comments attached</b> _____</p>
<b>EXPLANATION:</b> <p>Brian Rebman, the owner of 700 W. Kimberly Ave is requesting a conditional use permit for that location, which would conditionally approve that site to allow for plumbing and heating shops to operate.</p> <p>The parcel is currently zoned B-1, Business General. To the east and west, the properties are both zoned B-1. To the north the condominiums are zoned R-5, Residential Planned. To the south across Kimberly Ave, those properties are zoned R-2, Residential Moderate Density.</p> <p>Mr. Rebman's current building are the remains of the car wash which operated before the tornado destroyed the building years ago. He is looking to expand/improve the property by creating a plumbing shop for himself, and an additional 3 shop/office units. The hours of operation will be between 7am to 5pm, with no noise, that exceeds our current noise policy. With the proposal of B-1 zoning and conditionally adding plumbing and heating shops to the property, Mr. Rebman states there will be no glares, odors, fumes, or vibrations coming from his property. As his proposal stands for the shops/offices, there will be little impact to the traffic generation of the area.</p> <p>According to current Village of Kimberly zoning requirements for setbacks, properties in the B-1 zoning areas do not have a minimum requirement for setbacks for side, rear, or front yards. While the plans Mr. Rebman provided show the proposed building extending very close to the property lines on both sides, staff cautioned Mr. Rebman to allow for access of maintenance to the rear yard without needing to drive or walk onto neighboring properties.</p>

Staff would also like to see full site plans for the property to show elevations, parking, dumpster enclosures, lighting diagrams, full building plans, and fence diagrams.

**RECOMMENDED ACTION:** To have the Plan Commission consider the conditional use permit of allowing for plumbing and heating shops for the property of 700 W. Kimberly Ave under the following conditions:

1. No noise between the hours of 10pm and 7am
2. No delivery of goods between the hours of 10pm and 7am, which would cause noise. Ex: trucks reversing, noisy machinery to unload goods, etc.
3. No glares, odors, fumes, or vibrations at any time from the property.
4. Approval of a full site plan from staff.



Submit to:  
 Planning & Zoning  
 515 W. Kimberly Ave.  
 Kimberly WI 54136  
 920-788-7500

**VILLAGE OF  
 KIMBERLY**  
 Conditional Use Permit Application

**Applicant  
 Information**

Petitioner: Brian Rebman  
 Date: 3/1/24  
 Petitioner Address: W5711 Mase Ct  
 City: Appleton State: WI Zip: 54915  
 Telephone #: (920) 257-6202 Fax: ( )  
 email: rebmanplumbing@yahoo.com  
 Status of Petitioner (please check one):  Owner  
 Representative  Tenant  Prospective Buyer

Petitioner's Signature (required):  
Brian Rebman

**Owner Information**

Owner(s): Brian Rebman  
 Date: 3/1/24  
 Owner(s) Address: W5711 Mase Ct City: Appleton  
 State: WI Zip: 54915  
 Telephone #: (920) 257-6202 Fax: ( )  
 email: rebmanplumbing@yahoo.com  
 Ownership Status (please check one):  Individual  Trust  
 Partnership  Corporation

**Property Owner Consent (required):**

By signature hereon, I/We acknowledge that Village officials and/or employees may, in the performance of their functions and duties, enter upon the property to inspect or gather other information necessary to process this application. I also understand that all meeting dates are tentative and may be postponed by the Village for incomplete submissions or other administrative reasons.

Property Owner's  
 Signature: Brian Rebman  
 Date: 3/1/24

**Site Information**

**Address/Location of Proposed Project:**  
700 W Kimberly Ave Kimberly WI Zoning:

Proposed Project or Use: Personal plumbing shop/office plus 3 additional shop/office spaces

Current or last Use of Property:

Previous carwash, current single plumbing shop for past 7 years

Land Uses Surrounding this Address: North: Townhouses

South: residential

East: salon/accounting

West: bakery

Note: A meeting notice will be mailed to all abutting property owners regarding this request:

- It is recommended that the applicant meet with Village Department staff prior to submittal to review the project and submitted materials.
- Application Fees must be submitted with the application.
- 

**Briefly explain how the proposed Conditional Use will satisfy the**

**Submit to:**  
 Planning & Zoning  
 515 W. Kimberly Ave.  
 Kimberly WI 54136  
 920-788-7500

**VILLAGE OF KIMBERLY**  
 Conditional Use Permit Application

**following ordinance requirements (see 525-49):**

1. The proposed use will not be detrimental to or endanger the public health, safety, morals, comfort, or general welfare.
2. The proposed use will be compatible with, and will not impair the uses, values, and enjoyment of other property in the neighborhood.
3. The proposed use will not impede development and improvement of the surrounding property.
4. Adequate utilities exist for the proposed use.
5. Adequate Pedestrian and/or vehicular access exists.

**Submittal Requirements – Must accompany the application to be complete.**

- A narrative of the proposed conditional use and project including:  
 Proposed use of the property



Proposal for 700 W Kimberly Ave Kimberly WI

Proposed use: This is currently a single building that remains from the old carwash that was destroyed in a tornado many years ago. It is currently a plumbing shop and has been for the past 7 years. This proposal is for an expansion/improvement of this space. Plan to expand on the current plumbing shop and add 3 additional shop/office fronts.

Hours of operation will be typical daytime hours-approximately 7 am to 5 pm. There won't be any excessive noise. No glare, odor, fumes or vibrations.

Compatibility: Will add aesthetic appeal to the neighborhood and won't detract from area businesses.

Traffic generation will be very minimal.

228

224

fence

Outdoor Storage

Work  
700 W Kimberly Ave

building

o's Bakery



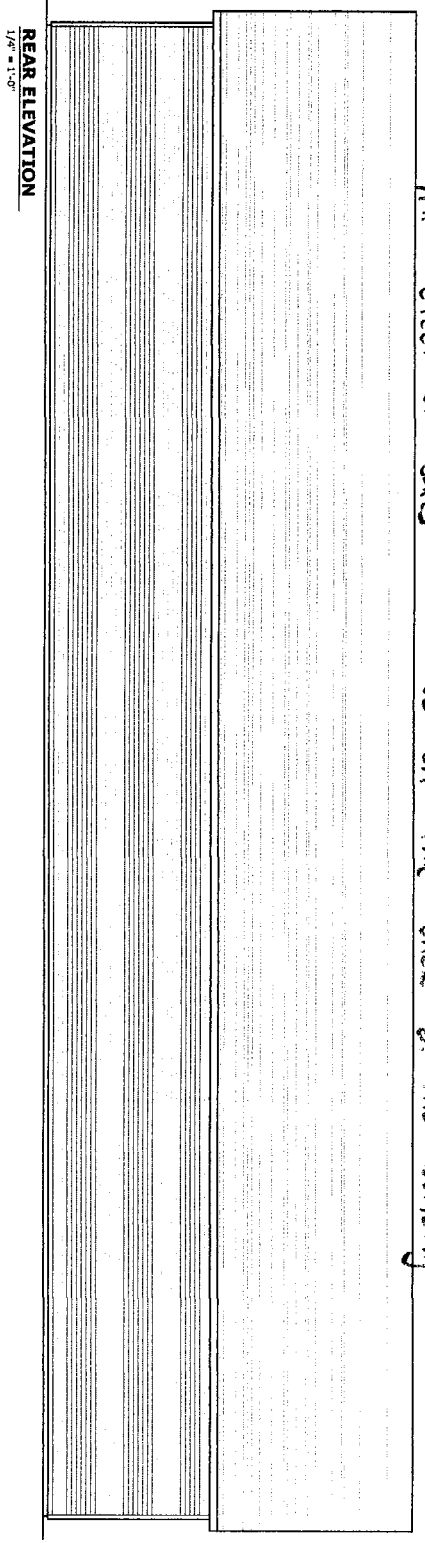
fence

Parking

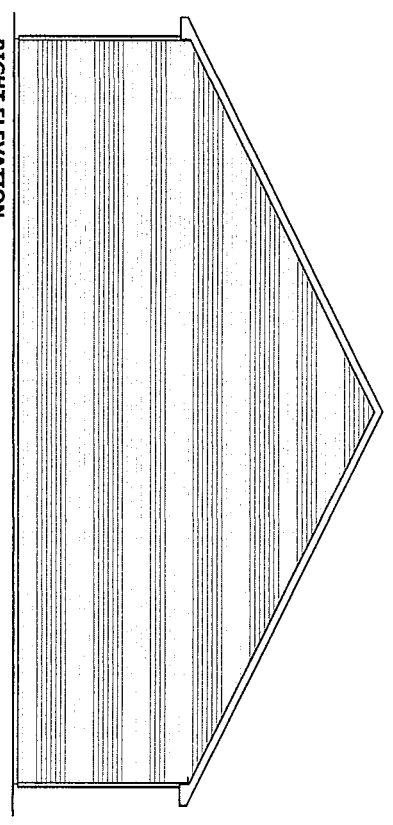
Kimberly Ave



\* Note - All plumbing vents + Exhaust vents will be through the Back Roof  
 All Electrical boxes will be on the back of the building




REAR ELEVATION  
 1/4" = 1'-0"



RIGHT ELEVATION  
 1/4" = 1'-0"

GARAGE AREA 5408 SF  
 TOTAL AREA 5408 SF

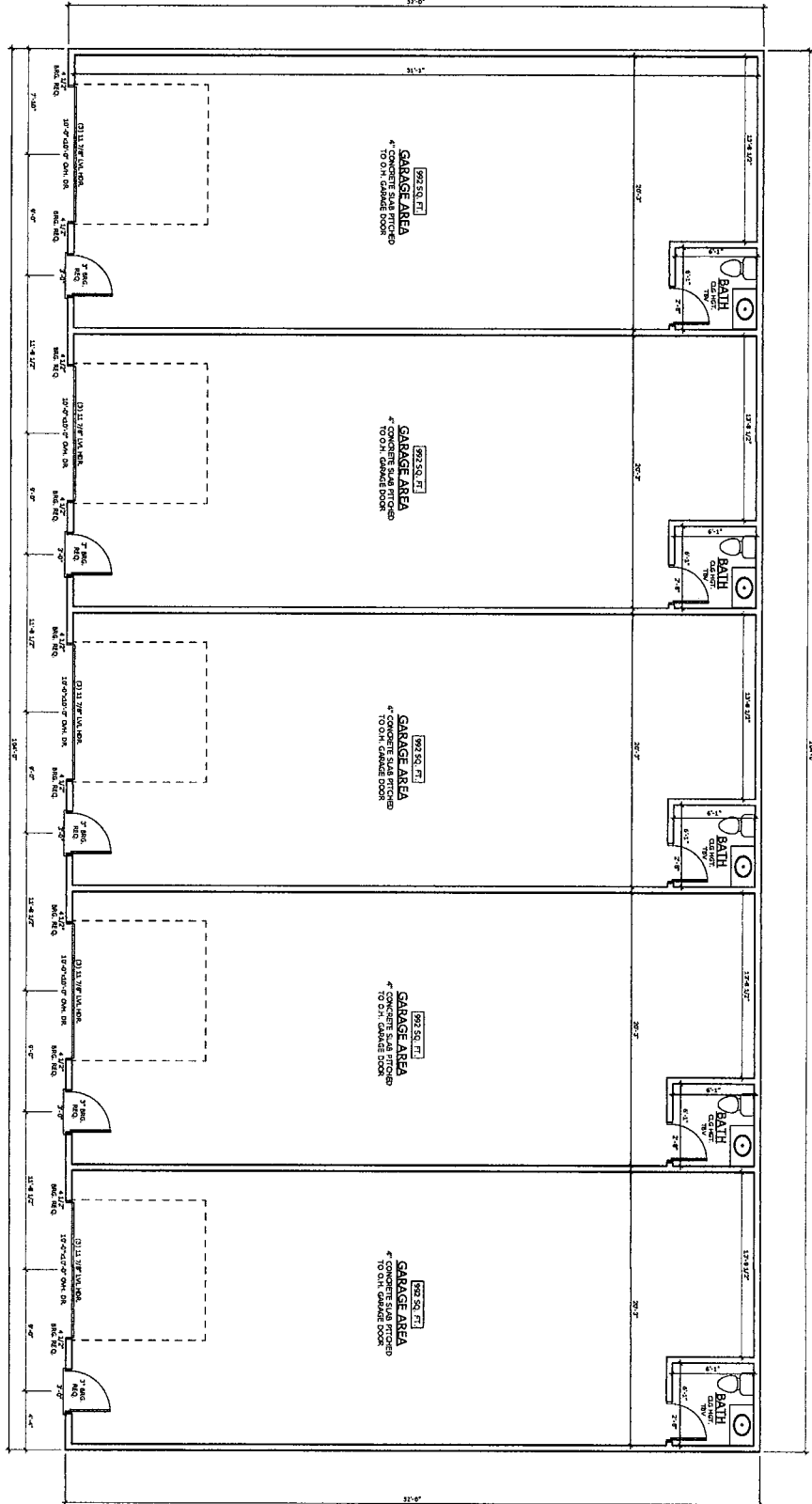
**BID PLAN - FOR BIDDING PURPOSES ONLY**

DRAWN BY: M. WINTER SCALE: 1/4" = 1'-0" SHEET NO: A2 PROJECT NO: Q24-145-W	 DrexelTeam.com	<b>KIMBERLY SHOP</b> J BUCK CONSTRUCTION	PROJ. ADDRESS TBD	COPYRIGHT & BIDDING THIS DOCUMENT IS THE PROPERTY OF THE ARCHITECT AND IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. IT IS NOT TO BE REPRODUCED, COPIED, EITHER WHOLLY OR IN PART, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT.	BID PLAN 02022134	HRW
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**FIRST FLOOR PLAN**  
1/4" = 1'-0" WALL HEIGHT: 12'-0"



GARAGE AREA 5408 SF  
TOTAL AREA 2498 SF

**GARAGE PLAN SPECIFICATIONS**

- 1. FINISH GARAGE FLOOR SHALL BE:
  - 4" THICK CONCRETE SLAB ON GRADE
  - FINISH WITH POLISHED CONCRETE
- 2. GARAGE WALLS SHALL BE:
  - 8" THICK CMU BLOCK
  - FINISH WITH 1/2" GYPSUM BOARD
  - PAINTED WITH PEARL EXTERIOR PAINT
- 3. GARAGE DOORS SHALL BE:
  - 16'-0" WIDE BY 7'-0" HIGH
  - ALUMINUM CLIP LOCK
- 4. ALL GARAGE DOORS SHALL BE:
  - OPERATED BY REMOTE CONTROL
- 5. ALL GARAGE DOORS SHALL BE:
  - INSULATED
- 6. ALL GARAGE DOORS SHALL BE:
  - PAINTED WITH PEARL EXTERIOR PAINT
- 7. ALL GARAGE DOORS SHALL BE:
  - FINISHED WITH 1/2" GYPSUM BOARD
  - PAINTED WITH PEARL EXTERIOR PAINT

**BID PLAN - FOR BIDDING PURPOSES ONLY**

OWNER: W. W. WORTHEN  
SCALE: 1/4" = 1'-0"  
PROJECT NO: A3  
PROJECT TO: G24-145-W



**KIMBERLY SHOP**  
J BUCK CONSTRUCTION

<b>COPYRIGHT &amp; MARK</b>	<b>BID PLAN</b>	02/02/2024	MRW
Copyright © 2024 by W. W. Worthen. All rights reserved. This document is the property of W. W. Worthen and is not to be distributed, copied, or used in any way without the express written consent of W. W. Worthen.	The Bid Plan is a preliminary document and is not to be used for construction purposes. The Bid Plan is for informational purposes only.		





## Village of Kimberly Request for Board Consideration

<b>ITEM DESCRIPTION:</b> Site & Architectural Review – Rebman Plumbing located at 700 W Kimberly Avenue
<b>REPORT PREPARED BY:</b> Sam Schroeder, Community Development Director
<b>REPORT DATE:</b> January 6, 2025
<p><b>ADMINISTRATOR'S REVIEW / COMMENTS:</b></p> <p style="margin-left: 40px;">No additional comments to this report _____ STS <u>DLB</u></p> <p style="margin-left: 40px;">See additional comments attached _____</p>
<p><b>EXPLANATION:</b> Robert E. Lee &amp; Associates on behalf of Rebman Plumbing has submitted a site review application for a proposed building addition to the existing Rebman Plumbing facility at 700 W Kimberly Avenue. The building addition would include a large garage for Rebman Plumbing and three contractor shop/office spaces.</p> <p>The site being the former carwash property totals 0.44 acres, zoned B-1, general business district.</p> <p>Attached to this staff report includes:</p> <ol style="list-style-type: none"> <li>1. Plan Commission Staff Report</li> <li>2. Site Plan Review Application</li> <li>3. Project Description</li> <li>4. Plan Drawings</li> <li>5. Engineer Review Comments</li> </ol>
<p><b>RECOMMENDED ACTION:</b> Confirm the Plan Commission recommendation for approval of the site plan and architectural components of the Rebman Plumbing expansion as presented, contingent upon the following:</p> <ol style="list-style-type: none"> <li>1. Applicant shall provide a grading and drainage plan, approved by Village staff, to reduce water runoff on adjoining properties prior to building permits being issued.</li> <li>2. Six of the proposed shrubs shall be replaced with two deciduous trees as well as all landscaping shall meet the vision control requirements.</li> <li>3. The proposed brick shall complement the existing building and any changes to the existing building shall complement the proposed addition and shall require staff approval.</li> <li>4. All storage of materials shall be held within the enclosed buildings.</li> <li>5. All storage of work vehicles, trailers and other equipment shall be stored within the enclosed building or the rear of the building outside of the general public view.</li> </ol>





## Village of Kimberly Request for Plan Commission Recommendation

**ITEM DESCRIPTION:** Site & Architectural Review – Rebman Plumbing located at 700 W Kimberly Avenue

**REPORT PREPARED BY:** Sam Schroeder, Community Development Director

**REPORT DATE:** December 17, 2024

**EXPLANATION:** Robert E. Lee & Associates on behalf of Rebman Plumbing has submitted a site review application for a proposed building addition to the existing Rebman Plumbing facility at 700 W Kimberly Avenue. The building addition would include a large garage for Rebman Plumbing and three contractor shop/office spaces. The Plan Commission did approve a conditional use for the proposed development on May 6, 2024. The conditional use permit was not brought forward, however, to the Village Board for review. If the Site and Architectural Review is approved by the Plan Commission, the Village Board will review both the specific development details and the conditional use permit at a subsequent meeting.

The site being the former carwash property totals 0.44 acres, zoned B-1, general business district.

Attached to this staff report includes:

1. Site Plan Review Application
2. Project Description
3. Plan Drawings
4. Engineer Review Comments

**Scope of Construction – Reference Project Description and Plans for additional insight.**

1. 5,408 SF building addition to the western portion of the building primarily over the former carwash area
2. Addition includes three contractor shops/offices each totaling 1,022sf with the remaining 2,080sf being part of Rebman Plumbing operations. Each unit will have an overhead garage door facing Kimberly Avenue, a service door with an overhead canopy, a rear service door, an interior bathroom, and an interior office.
3. The primary exterior façade material will be vinyl siding with decorative brick along the southern and eastern portions of the addition tying it with the existing development.
4. The applicant has proposed a fence along the eastern property line to match the existing rear fence as well as providing a small landscape area between the parking area and the Kimberly Avenue right of way on staff's request.
5. The only lighting proposed for the site will be minor recessed lighting within the soffit over the front façade.
6. The site currently is impervious and is part of a regional stormwater basin so no on-site treatment is proposed or needed.

The staff zoning review identified the proposed project complies with applicable ordinances. Staff has completed a review of the site for compliance with the Kimberly Municipal Code whereas the proposed project substantially meets code and notes the following:

1. **Grading and Drainage.** The Village has received complaints and issues with stormwater runoff affecting properties to the north and east. The property to the east, Fringe at 650 W Kimberly Ave, has modified their yard which has minimized impacts. Staff and the Village Engineer are proposing roof drains be added to a private stormwater system to bring all of the roof drainage towards the stormwater main within W Kimberly Avenue.
2. **Lighting.** A photometric plan was not submitted. The proposed recessed lighting should be minimal with minimal impacts upon adjoining properties. The Village would reserve the right to review the lighting to ensure code is being met following the installation.
3. **Outside Storage.** The development is designed that storage of materials, equipment and work vehicles would be stored within the enclosed building and out of sight of the general public. Staff is recommending exterior storage be limited and noted as part of a condition of approval.
4. **Site development.** The applicant has implemented many of staff's preliminary recommendations including adding brick to the street facing façade, adding canopy's above the service door to soften the façade, identifying proposed lighting, adding fencing along the eastern property line north of the building to provide screening, adding rear service doors, adding office spaces to align with the business zoning classification, and adding a landscape strip along the W Kimberly Avenue right-of-way. The landscaping plan calls for 16 green mountain boxwoods. Staff is proposing some diversity and trees be planted.
5. **Engineering Comments.** Further recommendations and reviews are attached to this memo.
6. **Building Inspections and Approvals.** Building plan review and inspections will be completed by the State of Wisconsin, unless delegation authority is completed by the Village of Kimberly.

**RECOMMENDED ACTION:** Staff recommends approval of the site plan and architectural components of the Rebman Plumbing expansion as presented, contingent upon the following:

1. Roof drains into a private storm system shall be installed to reduce the runoff off-site.
2. Six of the proposed shrubs shall be replaced with two deciduous trees as well as all landscaping shall meet the vision control requirements.
3. The proposed brick shall complement the existing building and any changes to the existing building shall complement the proposed addition and shall require staff approval.
4. All storage of materials shall be held within the enclosed buildings.
5. All storage of work vehicles, trailers and other equipment shall be stored within the enclosed building or the rear of the building outside of the general public view.



VILLAGE OF KIMBERLY  
Site Review Application

Submit to:

Planning & Zoning  
515 W. Kimberly Ave.  
Kimberly WI 54136  
920-788-7500

Applicant Information

Petitioner: ROBERT E LEE & ASSOC. - AMNON SAETENFELDT Date: 12/3/24

Petitioner Address: 1250 CENTENNIAL LEASE BLVD City: HOBART State: WI Zip: 54155

Telephone #: (900) 660-9641 Fax: ( ) email: abre.tenfelt@releeinc.com

Status of Petitioner (please check one):  Owner  Representative  Tenant  Prospective Buyer

Petitioner's Signature (required): Amnon Saetenfeldt

Owner Information

Owner(s): Brian Rebman Date: \_\_\_\_\_

Owner(s) Address: W5711 Mase Ct City: Appleton State: WI Zip: 54915

Telephone #: (920) 257-6202 Fax: ( ) email: rebmanplumbing@yahoo.com

Ownership Status (please check one):  Individual  Trust  Partnership  Corporation

**Property Owner Consent (required):**

By signature hereon, I/We acknowledge that Village officials and/or employees may, in the performance of their functions and duties, enter upon the property to inspect or gather other information necessary to process this application. I also understand that all meeting dates are tentative and may be postponed by the Village for incomplete submissions or other administrative reasons.

Property Owner's Signature: B.R. Date: 12/4/24

Site Information

Address/Location of Proposed Project: 700 W KIMBERLY AVE Zoning: B-1

Proposed Project or Use: CONTRACTOR OFFICE/SHOP

Current or last Use of Property: GA WASH

Land Uses Surrounding this Address: North: RESIDENTIAL

South: RESIDENTIAL

East: COMMERCIAL

West: COMMERCIAL

- It is recommended that the applicant meet with Village Department staff prior to submittal to review the project and submitted materials.
- Application Fees must be submitted with the application.

December 3, 2024

Mr. Sam Schroeder, Community Development Director  
VILLAGE OF KIMBERLY  
515 W Kimberly Ave  
Kimberly, WI 54136

RE: Rebman Plumbing Site Development – Site Plan Application

Dear Mr. Schroeder:

On behalf of Rebman Plumbing, Robert E. Lee & Associates, Inc. is submitting the attached site plan review application documents. Rebman Plumbing is proposing to construct a new 5,408 square foot contractor shop/office building at 100 W Kimberly Ave. The existing building on site will also remain as part of the project and a 5' wide landscape strip will be added along the existing public sidewalk. Effects on the adjoining properties will be minimal as the site will generate insignificant noise, glare, odor, fumes, vibration, etc. Fencing will be installed in the NE corner of the site to fully enclose the rear paved area on site. Traffic generated by this site will be significantly less than when a car wash was on site.

Please review at your earliest convenience and let us know if you have any questions or comments.

Sincerely,

ROBERT E. LEE & ASSOCIATES, INC.



Aaron Breitenfeldt, PE  
Sr. Project Manager

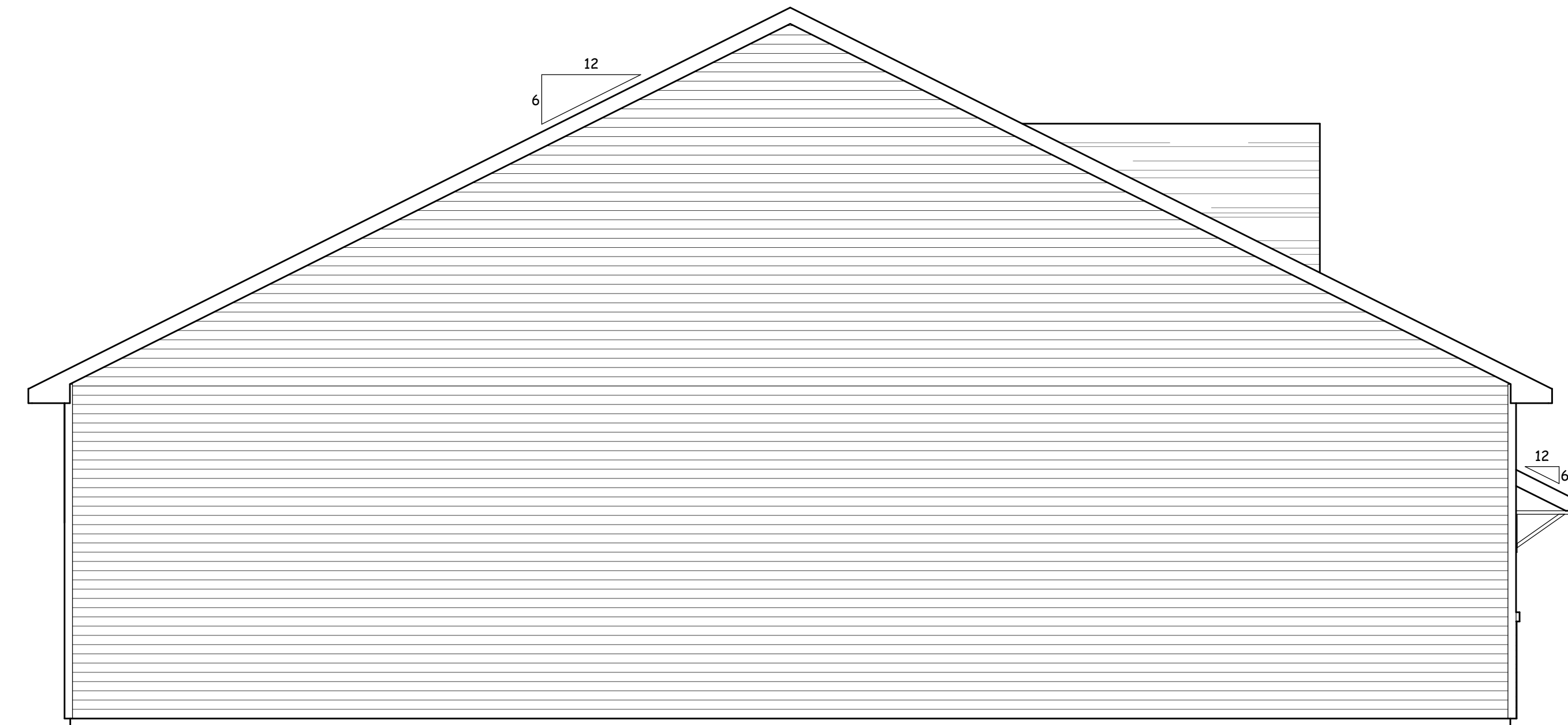
AJB

ENC.



**FRONT ELEVATION**

1/4" = 1'-0"



**LEFT ELEVATION**

1/4" = 1'-0"

GARAGE AREA 5408 SF  
**TOTAL AREA 5408 SF**

**BID PLAN - FOR BIDDING PURPOSES ONLY**

DESIGNER: M. WESTEEN	DATE: 11/20/2024	BID PLAN	MRW
SCALE: 1/4" = 1'-0"	BID PLAN	02/02/2024	MRW
BHEET NO: <b>A1</b>	REVISIONS	11/20/2024	MRW
PROJECT NO: G24-145-W			

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ALTHOUGH EVERY EFFORT WILL BE MADE TO PREPARE AND CHECK THIS PLAN FOR ACCURACY, THE ARCHITECT MAKES NO WARRANTY, REPRESENTATION OR CONTRACT FOR THE ACCURACY OR COMPLETENESS OF THE INFORMATION PROVIDED HEREON.

**KIMBERLY SHOP**



J BUCK CONSTRUCTION

PROJ. ADDRESS TBD




**REAR ELEVATION**  
1/4" = 1'-0"

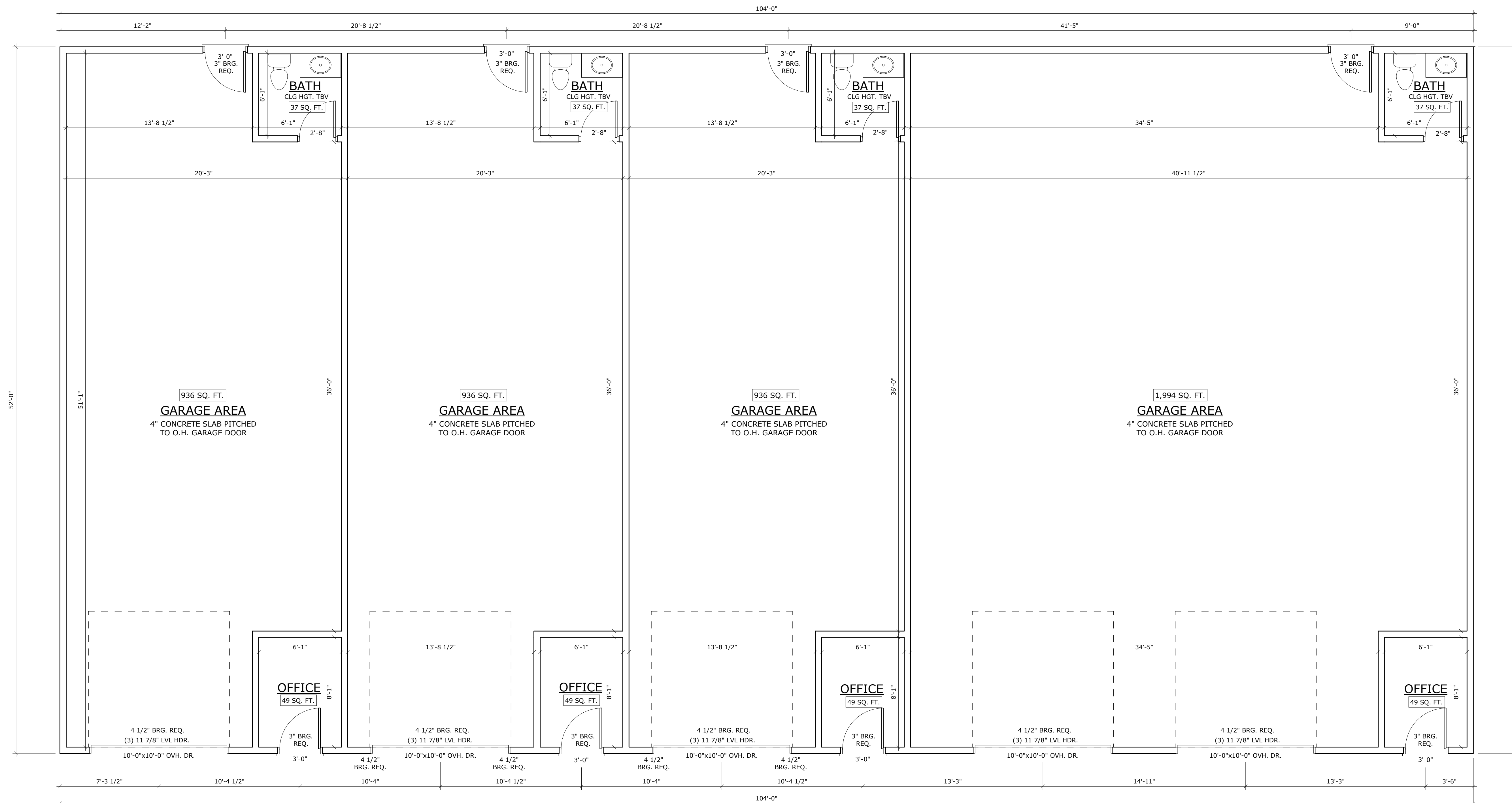


**RIGHT ELEVATION**  
1/4" = 1'-0"

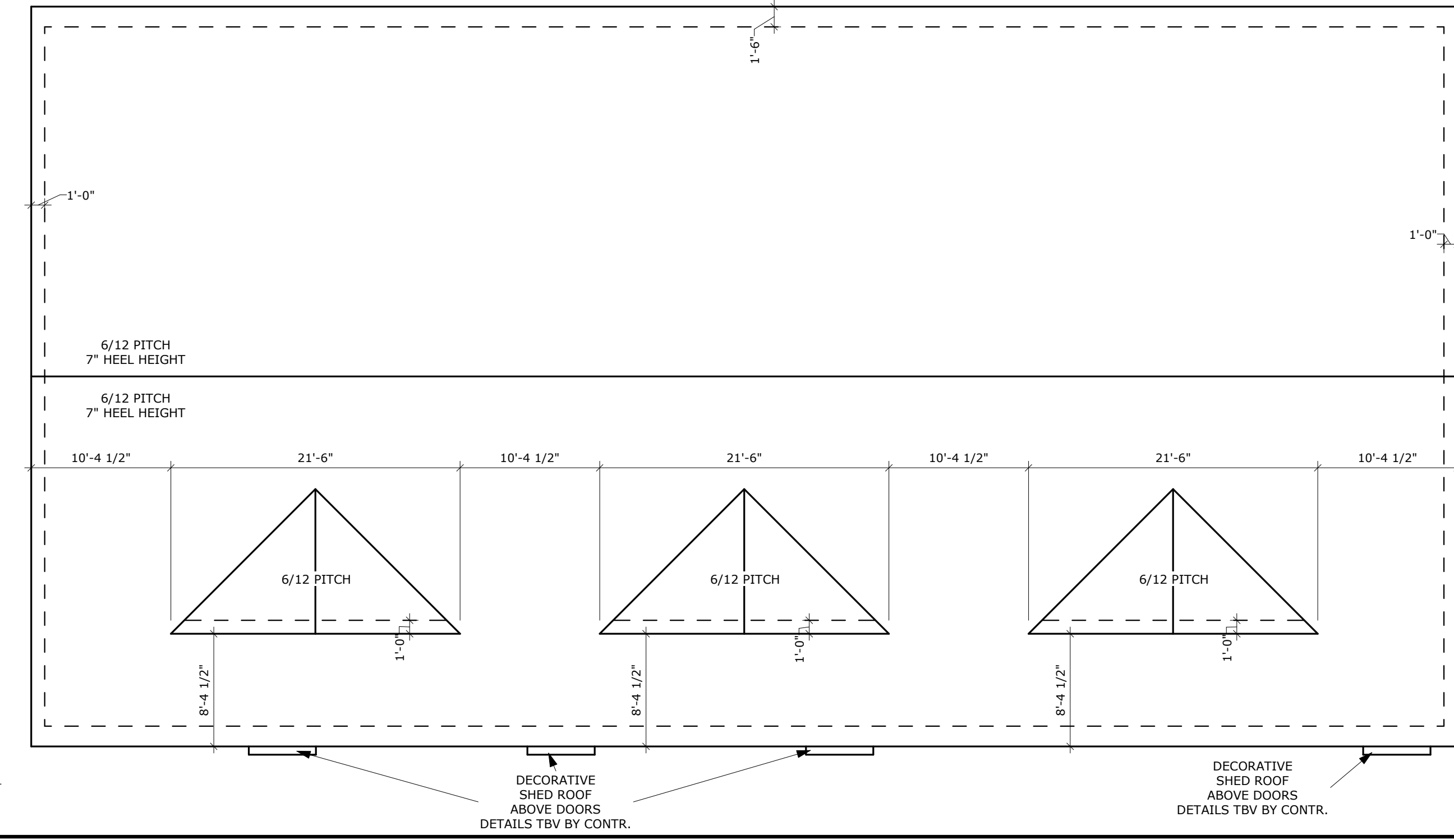
GARAGE AREA 5408 SF  
**TOTAL AREA 5408 SF**

**BID PLAN - FOR BIDDING PURPOSES ONLY**

DESIGNER M. WESTEEN	DATE 1/4" = 1'-0"	SHEET NO. <b>A2</b>	PROJECT NO. G24-145-W
		<b>KIMBERLY SHOP</b> PROJ. ADDRESS TBD	
<b>J BUCK CONSTRUCTION</b>		PROJ. ADDRESS TBD	
<p><b>COPYRIGHT © 2024</b>          COMPANY OR INDIVIDUAL DESIGNER OR ARCHITECT HAS THE SOLE AND EXCLUSIVE RIGHT TO REPRODUCE OR TRANSMIT IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT PERMISSION IN WRITING FROM THE ARCHITECT OR DESIGNER. ALL RIGHTS RESERVED.</p>			
<b>BID PLAN REVISIONS</b>		02/02/2024	MRW
1.		11/20/2024	MRW
2.			
3.			
4.			
5.			
6.			
7.			
8.			
9.			
10.			



**FIRST FLOOR PLAN**  
 1/4" = 1'-0" WALL HEIGHT: 12'-0"



**ROOF PLAN**  
 1/8" = 1'-0"

GARAGE PLAN SPECIFICATIONS	
<b>ROOF SYSTEMS</b>	
• WOOD TRUSSES @24" O.C. DESIGNED FOR: ZONE 2 • STD. LOADING (PER SQ. FT.) 30# TCDL, 10# TCCL, 10# BCDL • DEFLECTION: LL=L/240, TL=L/180 • DURATION OF LOAD: 1.15%	
<b>HEADERS</b>	
• STANDARD HEADER ALL HEADERS NOT LABELED AS LVL TO BE MIN. (2) 2X10'S HEADER FOR ON-SITE (UNLESS VALUE ENGINEERED FOR OFF-SITE CONSTRUCTION) • TOP OF WINDOW R.O.S. FIRST FLOOR @ 6'-11 3/8" ABOVE SUBFLOOR (UNLESS NOTED/SHOWN OTHERWISE) • MINIMUM OF (2) SHOULDER STUDS AT EACH END FOR ALL OPENINGS 6'-0" AND LARGER	
<b>GENERAL INFORMATION</b>	
• ALL DIMENSIONS ARE TO THE ROUGH STUD (UNLESS NOTED OTHERWISE) • 2X6 WALLS=5 1/2", 2X4 WALLS =3 1/2" • FOUNDATION WALL THICKNESS FOR REPRESENTATION ONLY- MASON/CONTRACTOR TO VERIFY (WHEN APPLICABLE) • FINAL FOOTING SIZE AND DEPTH TO BE DETERMINED BY CONTRACTOR (WHEN APPLICABLE) • MASON TO LOCATE PILASTERS AND SIZE FOOTINGS PER CODE AND SOIL CONDITIONS (WHEN APPLICABLE) • GENERAL CONTRACTOR TO LOCATE THE FOLLOWING (WHEN APPLICABLE) FLOOR DRAINS, ELECTRIC SERVICES, ETC. • ALL DOOR HEIGHTS ARE 6'-8" UNLESS NOTED/SHOWN OTHERWISE	

**GARAGE AREA** 5408 SF  
**TOTAL AREA** 5408 SF

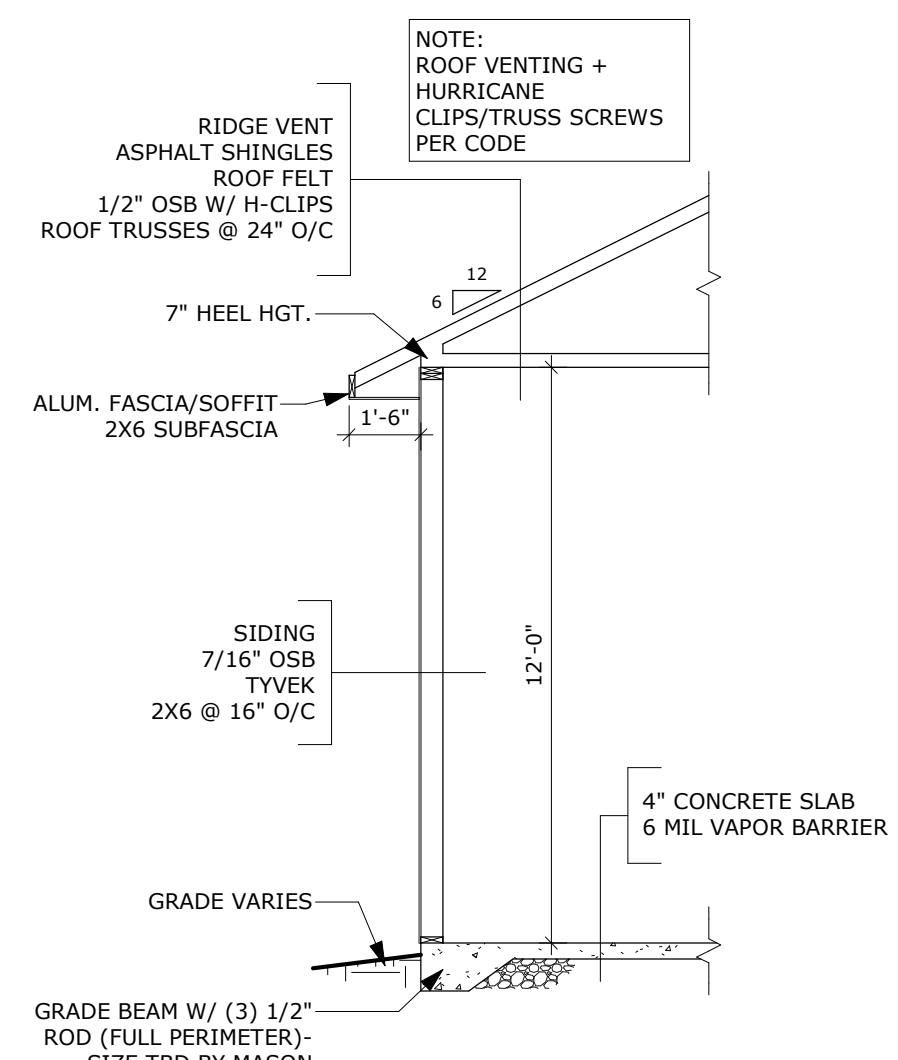
**BID PLAN - FOR BIDDING PURPOSES ONLY**

DESIGNER: M. WESTEEN	SCALE: As indicated	SHEET NO: <b>A3</b>	PROJECT NO: GC24-145-W						
	PROJECT: J BUCK CONSTRUCTION								
KIMBERLY SHOP		PROJ. ADDRESS TBD							
COPYRIGHT © 2024		<table border="1"> <thead> <tr> <th>BID PLAN</th> <th>MRW</th> </tr> </thead> <tbody> <tr> <td>02/02/2024</td> <td>MRW</td> </tr> <tr> <td>11/20/2024</td> <td>MRW</td> </tr> </tbody> </table>		BID PLAN	MRW	02/02/2024	MRW	11/20/2024	MRW
BID PLAN	MRW								
02/02/2024	MRW								
11/20/2024	MRW								



**FOUNDATION PLAN**

1/4" = 1'-0"



**WALL SECTION**

1/4" = 1'-0"

**GARAGE PLAN SPECIFICATIONS**

- ROOF SYSTEMS**
- WOOD TRUSSES @ 24" O.C.
  - DESIGNED FOR: ZONE 2
  - STD. LOADING (PER SQ. FT.)
  - 30# TCLL, 10# TCCL, 10# BCDL
  - DEFLECTION: LL=L/240, TL=L/180
  - DURATION OF LOAD: 1.15%
- HEADERS**
- STANDARD HEADER
  - ALL HEADERS NOT LABELED AS LVL TO BE MIN. (2) 2X10'S HEADER FOR ON-SITE (UNLESS VALUE ENGINEERED FOR OFF-SITE CONSTRUCTION)
  - TOP OF WINDOW R.O.S.
  - FIRST FLOOR @ 6'-11 3/8" ABOVE SUBFLOOR (UNLESS NOTED/SHOWN OTHERWISE)
  - MINIMUM OF (2) SHOULDER STUDS AT EACH END FOR ALL OPENINGS 6'-0" AND LARGER
- GENERAL INFORMATION**
- ALL DIMENSIONS ARE TO THE ROUGH STUD (UNLESS NOTED OTHERWISE)
  - 2X6 WALLS=5 1/2", 2X4 WALLS =3 1/2"
  - FOUNDATION WALL THICKNESS FOR REPRESENTATION ONLY- MASON/CONTRACTOR TO VERIFY (WHEN APPLICABLE)
  - FINAL FOOTING SIZE AND DEPTH TO BE DETERMINED BY CONTRACTOR (WHEN APPLICABLE)
  - MASON TO LOCATE PILASTERS AND SIZE FOOTINGS PER CODE AND SOIL CONDITIONS (WHEN APPLICABLE)
  - GENERAL CONTRACTOR TO LOCATE THE FOLLOWING (WHEN APPLICABLE)
    - FLOOR DRAINS, ELECTRIC SERVICES, ETC.
  - ALL DOOR HEIGHTS ARE 6'-8" UNLESS NOTED/SHOWN OTHERWISE

GARAGE AREA 5408 SF  
 TOTAL AREA 5408 SF

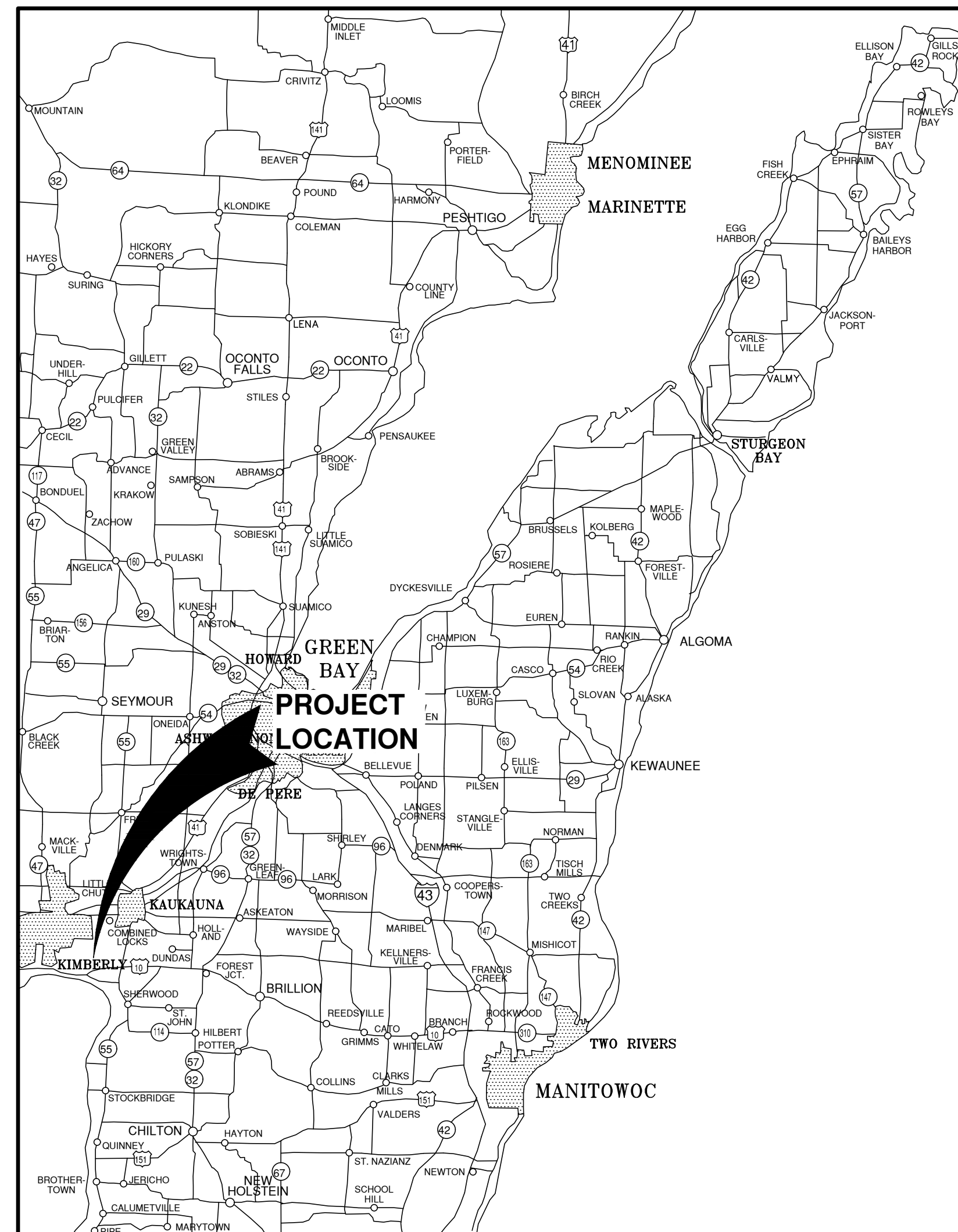
DESIGNER M. WESTEEN	SCALE 1/4" = 1'-0"	SHEET NO. <b>A4</b>	PROJECT NO. GC24-145-W	PROJ. ADDRESS TBD	
				J BUCK CONSTRUCTION	
<p style="text-align: center;"><b>KIMBERLY SHOP</b></p>				BID PLAN REVISIONS 02/02/2024 MRW 11/20/2024 MRW	
				COPYRIGHT © 2024 ALL RIGHTS RESERVED. THIS DOCUMENT IS THE PROPERTY OF DREXEL TEAM.COM. NO PART OF THIS DOCUMENT MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF DREXEL TEAM.COM.	

**BID PLAN - FOR BIDDING PURPOSES ONLY**



# BUILDING EXPANSION FOR REBMAN PLUMBING VILLAGE OF KIMBERLY, OUTAGAMIE COUNTY, WISCONSIN

**ATTENTION!**  
DOWNLOADED PLANS ARE NOT SCALEABLE. NEITHER THE OWNER OR THE ENGINEER SHALL BE HELD RESPONSIBLE FOR THE SCALE OR PRINT QUALITY OF DOWNLOADED PLANS. ONLY PRINTED PLANS FROM BLUE PRINT SERVICE CO., INC. SHALL BE CONSIDERED TO BE SCALEABLE PLANS.



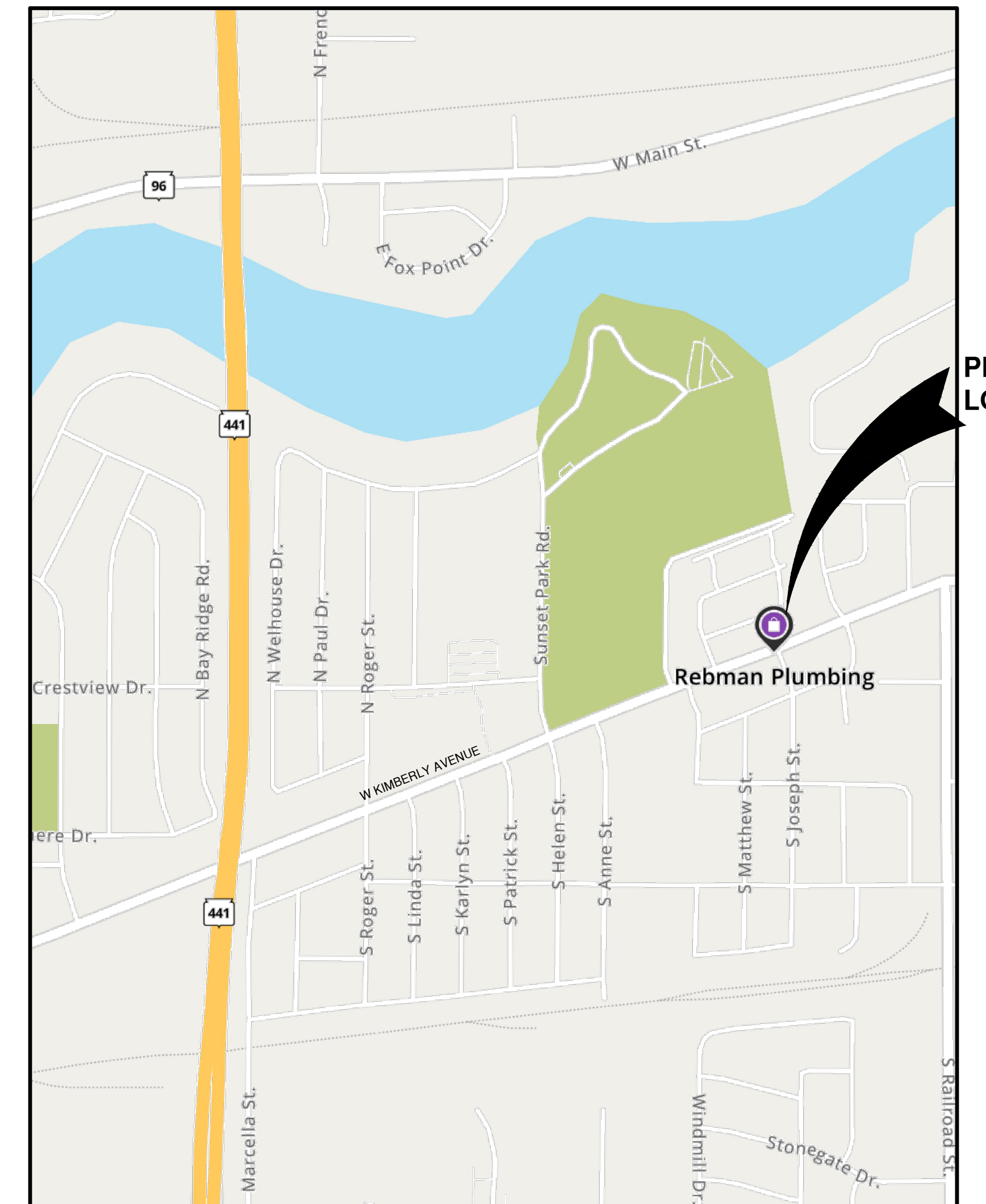
VICINITY MAP

NOTE:  
EXISTING UTILITIES SHOWN ON PLANS ARE APPROXIMATE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING EXACT LOCATIONS AND ELEVATIONS OF ALL UTILITIES, WHETHER SHOWN OR NOT, FROM THE OWNERS OF THE RESPECTIVE UTILITIES. ALL UTILITY OWNERS SHALL BE NOTIFIED FOR LOCATES BY THE CONTRACTOR 72 HOURS PRIOR TO EXCAVATION.

NOTE:  
ALL EROSION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO CONSTRUCTION AND SHALL CONFORM TO THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES CONSTRUCTION SITE EROSION CONTROL AND TECHNICAL STANDARDS.

### INDEX TO DRAWINGS

SHT. NO.	DESCRIPTION
C	LOCATION MAPS AND INDEX TO DRAWINGS
1	GENERAL NOTES
2	EXISTING SITE CONDITIONS
3	SITE PLAN
4	UTILITY PLAN
5	GRADING AND EROSION CONTROL PLAN
6	MISCELLANEOUS DETAILS
7	EROSION CONTROL - INLET PROTECTION TYPES A, B, C AND D
8	EROSION CONTROL - INLET PROTECTION TYPE D-HR AND TYPE D-M
9	EROSION CONTROL - TRACKOUT CONTROL PRACTICES



LOCATION MAP

File: P:\162001\6538\65380011.dwg (6538001C.dwg)  
Plot Date: Sep 26, 2024 10:22am

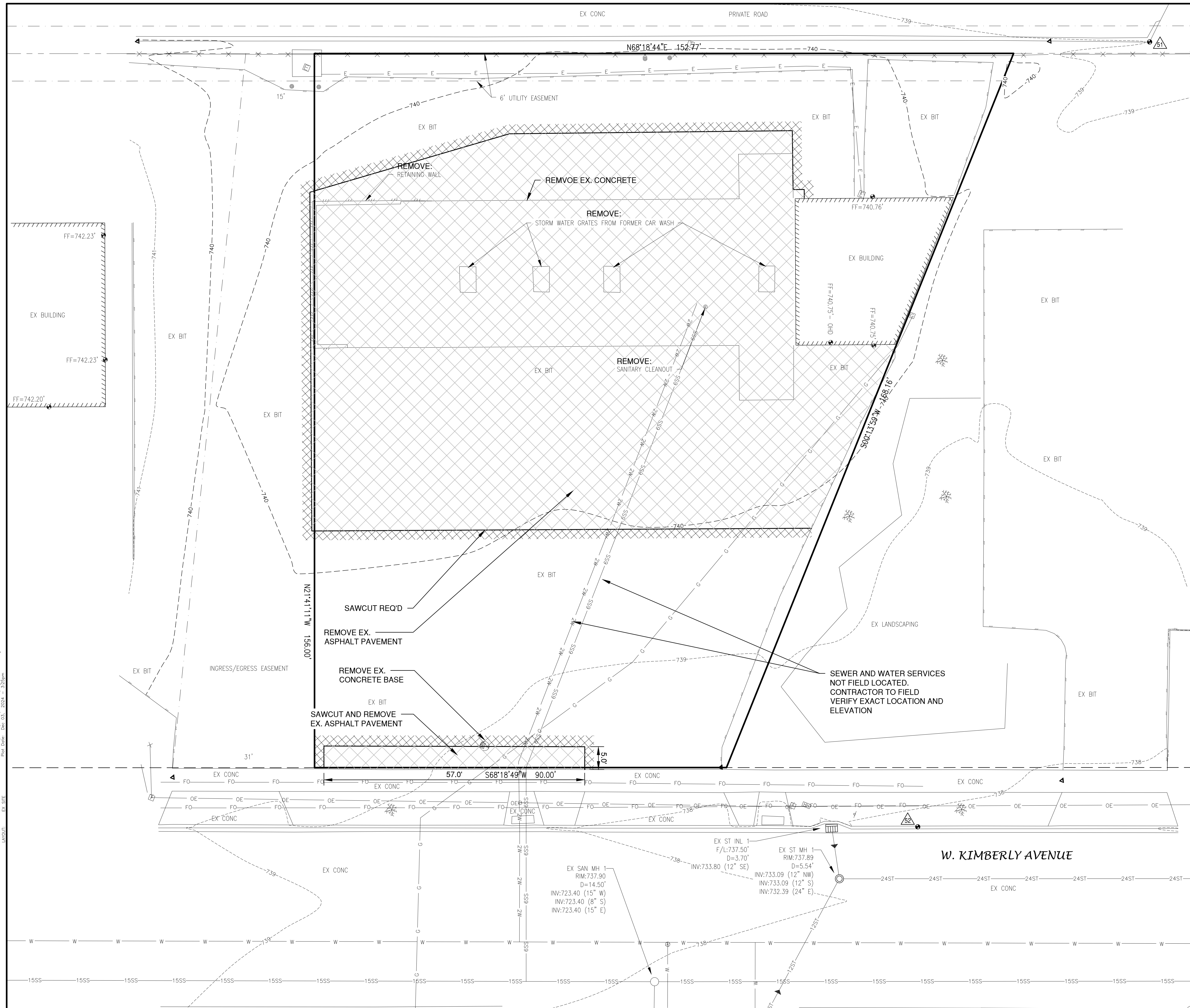
NO.	DATE	APPROV.	REVISION	NO.	DATE	APPROV.	REVISION	DRAWN	DATE	FILE	JOB NO.	<p>1250 Centennial Centre Blvd   Hobart, WI   920-662-9641   releinc.com</p>	SHEET NO.		
								CHECKED	09/2024	6538001C	6538001		<p>1250 Centennial Centre Blvd   Hobart, WI   920-662-9641   releinc.com</p>	C	
								DESIGNED						<p>1250 Centennial Centre Blvd   Hobart, WI   920-662-9641   releinc.com</p>	
								AJB							<p>1250 Centennial Centre Blvd   Hobart, WI   920-662-9641   releinc.com</p>
												<p>1250 Centennial Centre Blvd   Hobart, WI   920-662-9641   releinc.com</p>			

BUILDING EXPANSION FOR  
REBMAN PLUMBING  
VILLAGE OF KIMBERLY  
OUTAGAMIE COUNTY, WISCONSIN

LOCATION MAPS AND INDEX TO DRAWINGS

SHEET NO.  
**C**



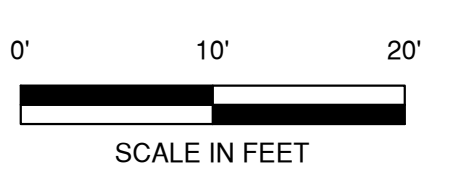
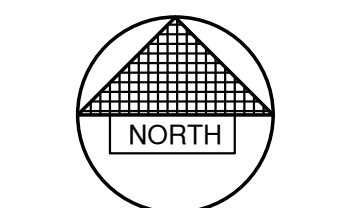


**DEMOLITION NOTES**

- EXISTING ASPHALT AND BASE COURSE MAY BE PULVERIZED AND STOCKPILED ON SITE FOR FUTURE USE.
- EXISTING GAS, ELECTRIC, CABLE TELEVISION AND TELEPHONE TO BE REMOVED AND/OR RELOCATED BY OTHERS. WORK SHALL BE COORDINATED BY GENERAL CONTRACTOR.
- ALL MISCELLANEOUS STRUCTURES SHALL BE REMOVED.
- DRIVEWAY OPENINGS SHALL BE REMOVED AND CURB OPENINGS SHALL BE CLOSED IN ACCORDANCE WITH STANDARD DETAIL "CURB REMOVAL", SEE DETAIL SHEETS.

BENCHMARK		BENCHMARK ESTABLISHED BY: ROBERT E. LEE & ASSOCIATES, INC.
FIELD VERIFY BENCHMARKS FOR ACCURACY.		
NO.	DESCRIPTION	EL.
51	CROSS ON TOP-BACK-CURB	737.90
52	CORNER TOP-BACK-CURB	739.01

File: P:\152001\65380011.dwg (6/5/2024 10:45) (6/5/2024 10:45)  
 Plot Date: Dec 23, 2024 10:32:05am  
 LAYOUT: EX SITE



NO.	DATE	APPROV.	REVISION	NO.	DATE	APPROV.	REVISION

DRAWN: LLP  
 CHECKED:  
 DESIGNED: AUB  
**BUILDING EXPANSION FOR  
 REBMAN PLUMBING  
 VILLAGE OF KIMBERLY  
 OUTAGAMIE COUNTY, WISCONSIN**

**EXISTING SITE CONDITIONS**  
 DATE: 09/2024  
 FILE: 6538001T  
 JOB NO.: 6538001

DATE: 09/2024  
 FILE: 6538001T  
 JOB NO.: 6538001

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PRIVATE ROAD

N68°18'44"E 152.77'

NOTE: EX. SEWER AND WATER WAS NOT MARKED. LOCATIONS SHOWN MAY NOT BE ACCURATE. CONTRACTOR TO FIELD VERIFY EXACT LOCATIONS AND ELEVATIONS

PROPOSED ADDITION  
5,100 S.F.

EX. SEWER AND WATER LATERALS TO BE RE-ROUTED TO EASTERMOST UNIT PER OWNER DIRECTION.

LEGEND

- 8SS — 8SS — PROPOSED SANITARY SEWER
- 8SS — 8SS — EXISTING SANITARY SEWER (SIZE NOTED)
- 10ST — 10ST — PROPOSED STORM SEWER
- 10ST — 10ST — EXISTING STORM SEWER (SIZE NOTED)
- 6W — 6W — 6W — PROPOSED WATERMAIN
- 6W — 6W — 6W — EXISTING WATERMAIN (SIZE NOTED)

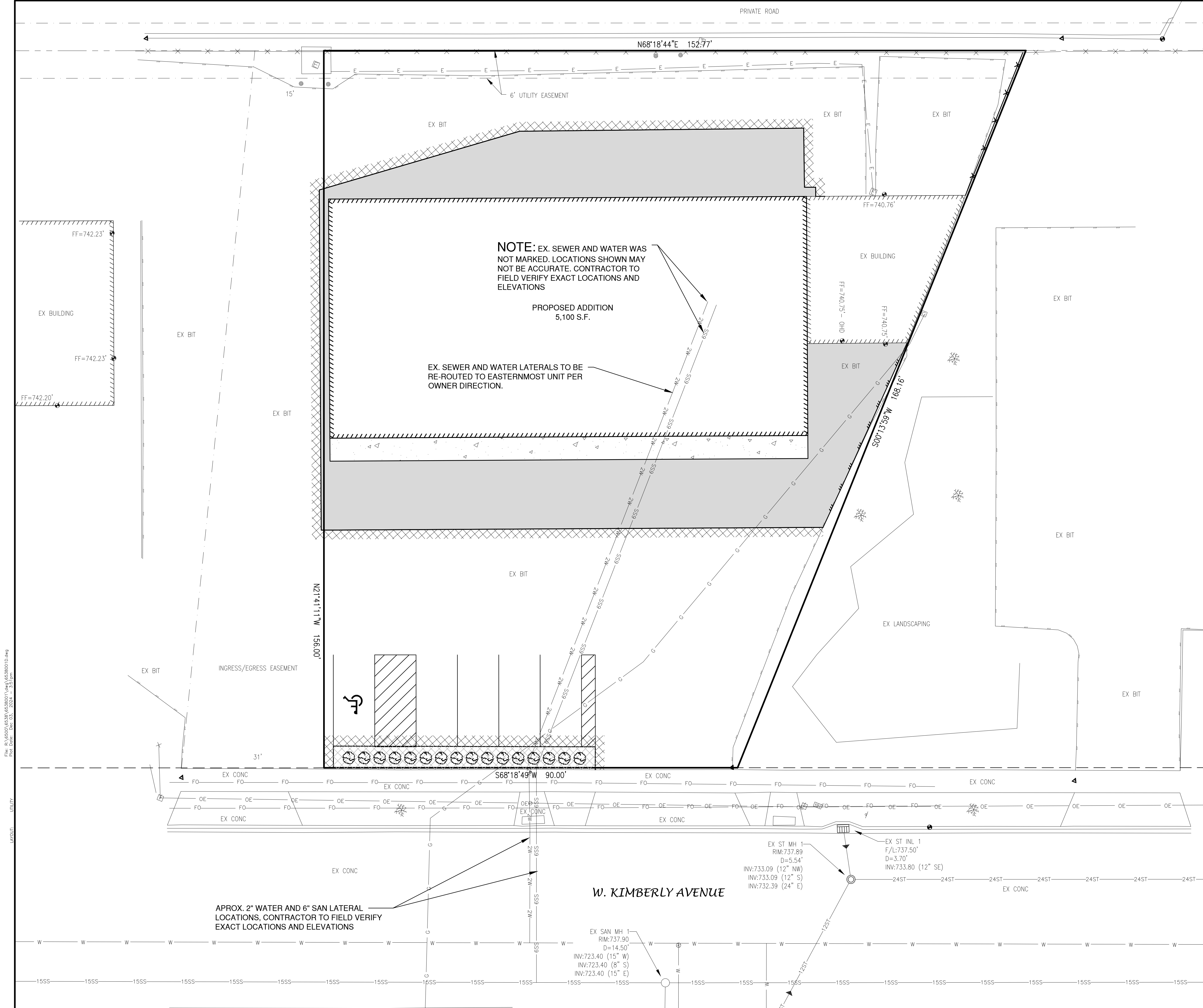
- PROPOSED
- EXISTING
- FIRE HYDRANT
- ⊗ WATER VALVE
- ⊗ CURB STOP
- ⊗ WATER MANHOLE
- ⊗ REDUCER/INCREASER
- SANITARY MANHOLE
- ⊗ LIFT STATION
- ⊗ TRACER WIRE SIGNAL CONNECTION BOX
- CLEANOUT
- ⊗ STORM MANHOLE
- ⊗ STORM INLET (NOT IN CURB AND GUTTER)
- ⊗ STORM INLET (IN CURB AND GUTTER)
- ⊗ STORM INLET MANHOLE
- ⊗ YARD DRAIN
- ⊗ STANDPIPE
- ⊗ ROOF DOWNSPOUT
- ⊗ DISCHARGE STRUCTURE

NOTE

1. A MINIMUM OF 6.5 FEET OF COVER SHALL BE MAINTAINED OVER ALL WATERMAIN.
2. SANITARY SEWER, WATERMAIN AND STORM SEWER SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CURRENT STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN AND ADMINISTRATIVE CODE CHAPTERS SPS 381-387.
3. FIELD VERIFY LOCATION OF EXISTING UTILITIES. IF EXISTING LOCATIONS DIFFER FROM WHAT IS INDICATED ON THE PLANS, CONTACT ENGINEER, PRIOR TO CONTINUED WORK.
4. ALL SANITARY SEWER, STORM SEWER AND WATER SERVICES / MAINS SHALL BE PROVIDED WITH TRACER WIRE OR OTHER METHOD TO BE LOCATED.
5. EXISTING GAS, ELECTRIC, CABLE TELEVISION AND TELEPHONE TO BE REMOVED AND/OR RELOCATED BY OTHERS. WORK SHALL BE COORDINATED BY GENERAL CONTRACTOR.

File: P:\15000\65380\65380101.dwg (6/5/2024 10:44:33) Plot Date: Dec 23, 2024 11:33:10am

UTILITY  
LAYOUT



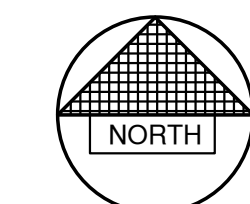
APROX. 2" WATER AND 6" SAN LATERAL LOCATIONS. CONTRACTOR TO FIELD VERIFY EXACT LOCATIONS AND ELEVATIONS

W. KIMBERLY AVENUE

EX SAN MH 1  
RIM:737.90  
D=14.50'  
INV:723.40 (15" W)  
INV:723.40 (8" S)  
INV:723.40 (15" E)

EX ST MH 1  
RIM:737.89  
D=5.54'  
INV:733.09 (12" NW)  
INV:733.09 (12" S)  
INV:732.39 (24" E)

EX ST INL 1  
F/L:737.50'  
D=3.70'  
INV:733.80 (12" SE)



NO.	DATE	APPROV.	REVISION	NO.	DATE	APPROV.	REVISION

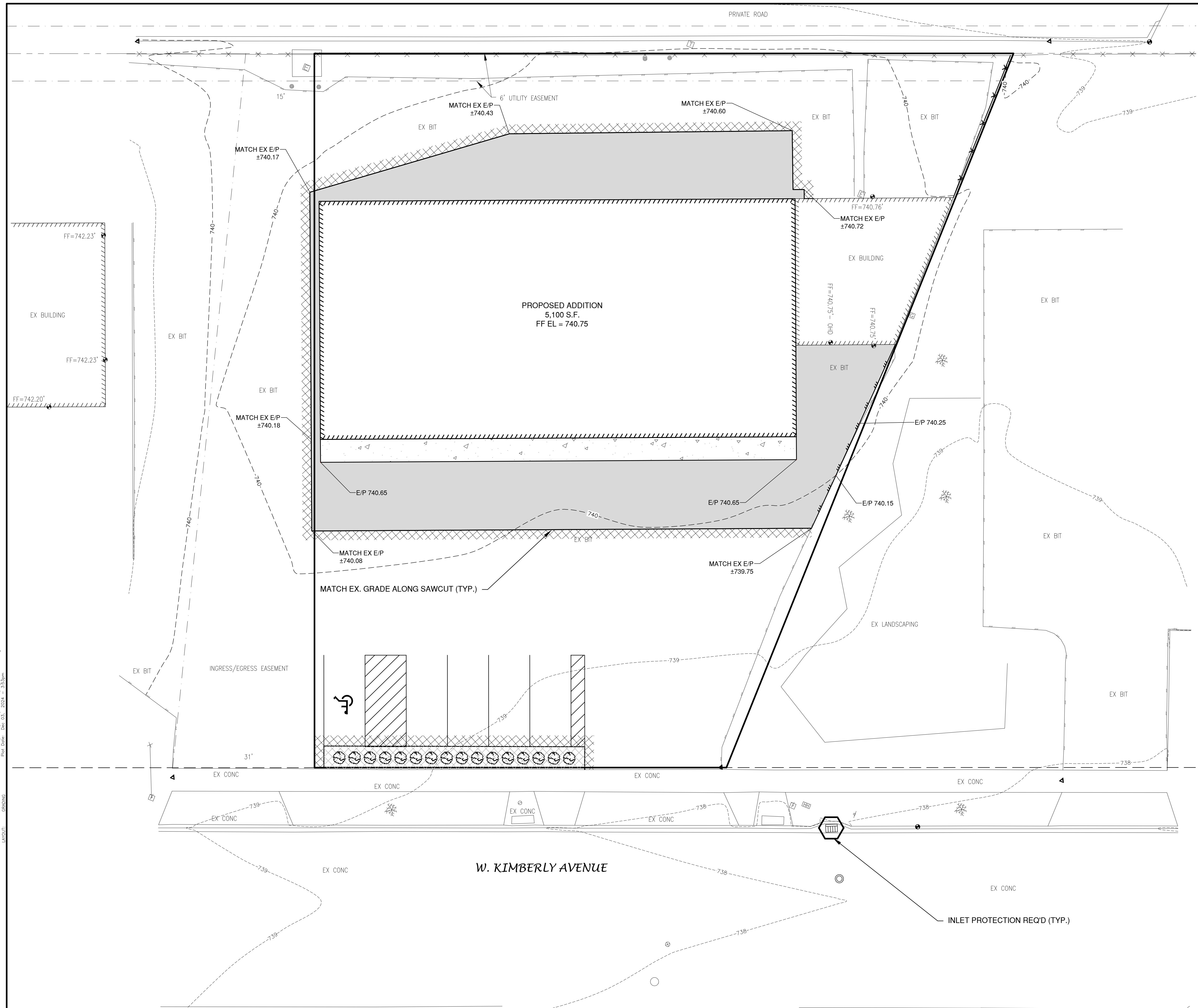
DRAWN LLP  
CHECKED  
DESIGNED A/B

BUILDING EXPANSION FOR  
REBMAN PLUMBING  
VILLAGE OF KIMBERLY  
OUTAGAMIE COUNTY, WISCONSIN

UTILITY PLAN

DATE 09/2024  
FILE 6538001D  
JOB NO. 6538001

**REL** Robert E. Lee & Associates, Inc.  
1250 Centennial Centre Blvd | Hobart, WI | 920-662-9641 | releinc.com

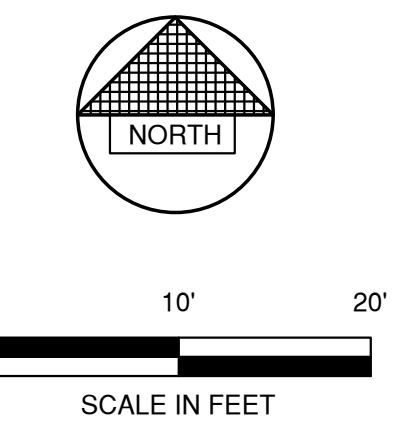


**LEGEND**

	T/C 999.99	TOP OF CURB ELEVATION
	F/L 888.88	FLOW LINE ELEVATION
	S/W 666.66	TOP OF SIDEWALK ELEVATION
	E/P 555.55	EDGE OF PAVEMENT ELEVATION
	R/W 444.44	TOP OF RETAINING WALL ELEVATION
	333.33	GROUND ELEVATION
		DRAINAGE SWALE
		DRAINAGE DIVIDE
		FLOW ARROW
		SILT FENCE (PER WDNR TECHNICAL STANDARD 1056)
		DITCH CHECK (PER WDNR TECHNICAL STANDARD 1062)
		TRACKING PAD (PER WDNR TECHNICAL STANDARD 1057)
		EROSION MAT (PER WDNR TECHNICAL STANDARD 1053)
		INLET PROTECTION (PER WDNR TECHNICAL STANDARD 1060)

- EROSION CONTROL**
- ALL EROSION CONTROL PRACTICES INDICATED ON THIS PLAN ARE APPROXIMATE LOCATIONS ONLY. THE ACTUAL SITE MAY REQUIRE MORE OR LESS EROSION CONTROL DEPENDING ON THE CURRENT CONDITION OF THE SITE.
1. SILT FENCE IS REQUIRED DOWNSLOPE OF ANY DISTURBED LAND THAT MAY CARRY SEDIMENTS OFF SITE.
  2. A TRACKING PAD IS REQUIRED AT ANY INGRESS/EGRESS LOCATION, WHERE SEDIMENT MAY BE TRACKED OFF-SITE.
  3. PROPER INLET PROTECTION SHALL BE USED DEPENDING ON THE INLET TYPE.
  4. ALL NECESSARY SITE DEWATERING SHALL BE PERFORMED IN ACCORDANCE WITH WDNR TECHNICAL STANDARD 1061.

File: P:\A\2024\65380010\65380010.dwg  
 Plot Date: Dec 23, 2024 11:33:00am  
 LAYOUT: GRADING



NO.	DATE	APPROV.	REVISION	NO.	DATE	APPROV.	REVISION

DRAWN: LLP  
 CHECKED: [Signature]  
 DESIGNED: A/B

**BUILDING EXPANSION FOR  
 REBMAN PLUMBING  
 VILLAGE OF KIMBERLY  
 OUTAGAMIE COUNTY, WISCONSIN**

DATE: 09/2024  
 FILE: 65380010  
 JOB NO.: 6538001

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**INLET PROTECTION NOTES:**

INLET PROTECTION DEVICES SHALL BE IN ACCORDANCE WITH WDNR TECHNICAL STANDARD 1060, STORM DRAIN INLET PROTECTION FOR CONSTRUCTION SITES.

MANUFACTURED ALTERNATIVES APPROVED AND LISTED ON THE WDOT PRODUCT ACCEPTABILITY LIST MAY BE SUBSTITUTED.

WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED ON THE GEOTEXTILE FABRIC DOES NOT FALL INTO THE INLET. ANY MATERIAL FALLING INTO THE INLET SHALL BE REMOVED IMMEDIATELY.

**MAINTENANCE NOTES:**

WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED IN THE FABRIC DOES NOT FALL INTO THE STRUCTURE. MATERIAL THAT HAS FALLEN INTO THE INLET SHALL BE IMMEDIATELY REMOVED.

**INSTALLATION NOTES:  
TYPE "B" AND "C"**

TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3" OF THE GRATE.

DEMONSTRATE A METHOD OF MAINTENANCE, USING A SEWN FLAP, HAND HOLDS OR OTHER METHOD TO PREVENT ACCUMULATED SEDIMENT FROM ENTERING THE INLET.

**TYPE "D"**

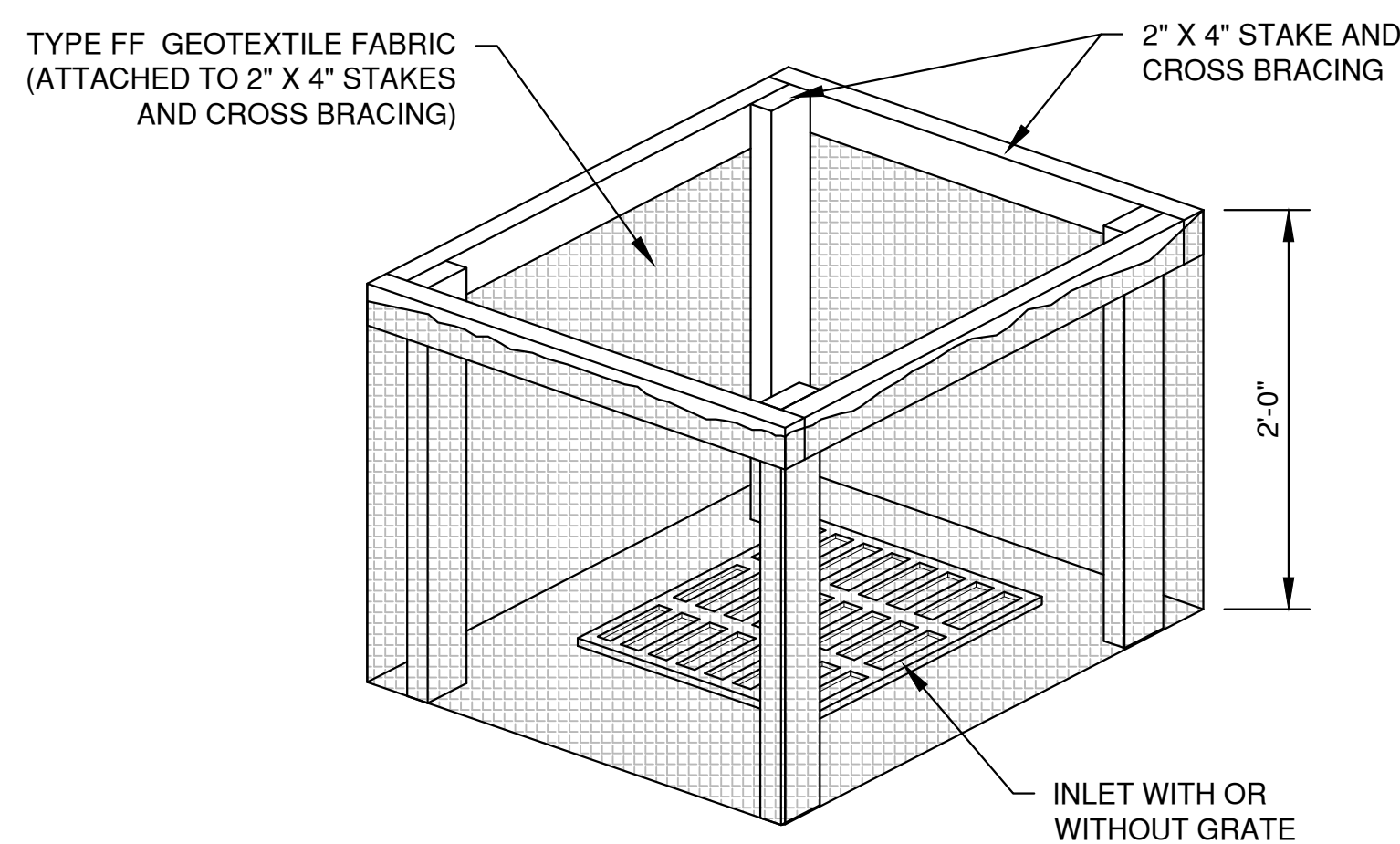
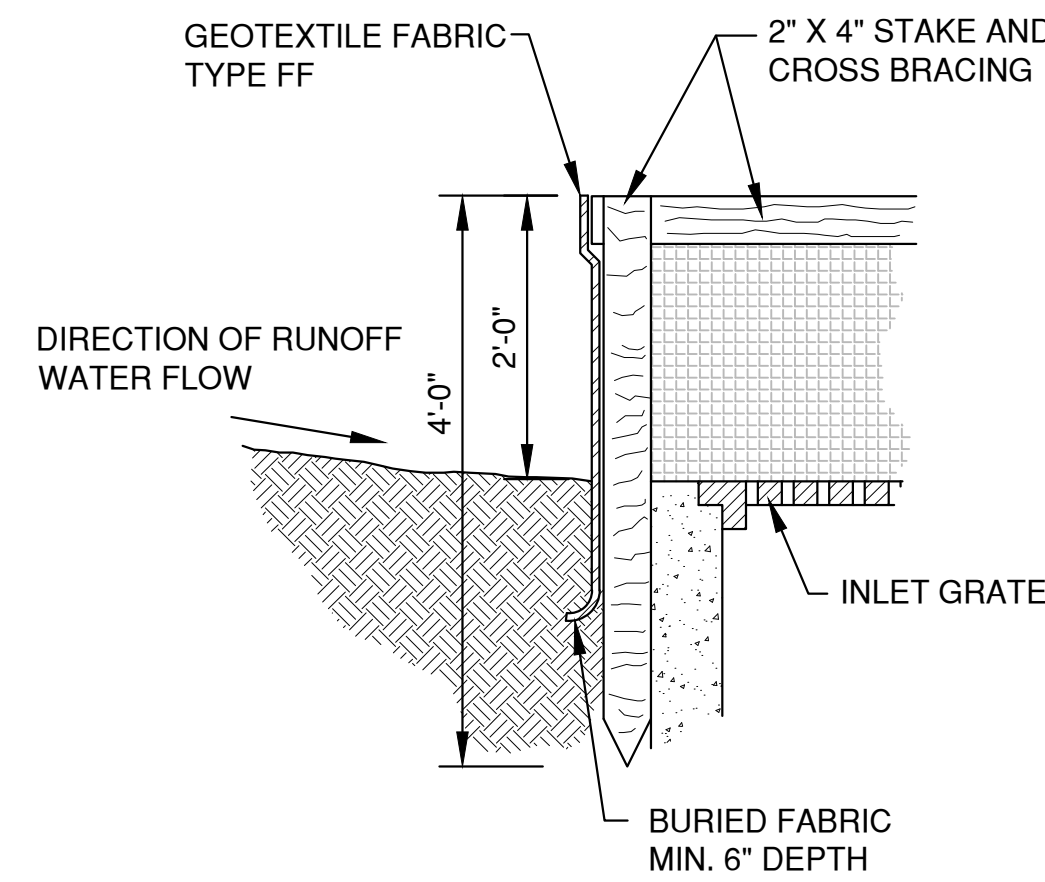
DO NOT INSTALL INLET PROTECTION TYPE D IN INLETS SHALLOWER THAN 30" MEASURED FROM THE BOTTOM OF THE INLET TO THE TOP OF THE GRATE.

TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3" OF THE GRATE.

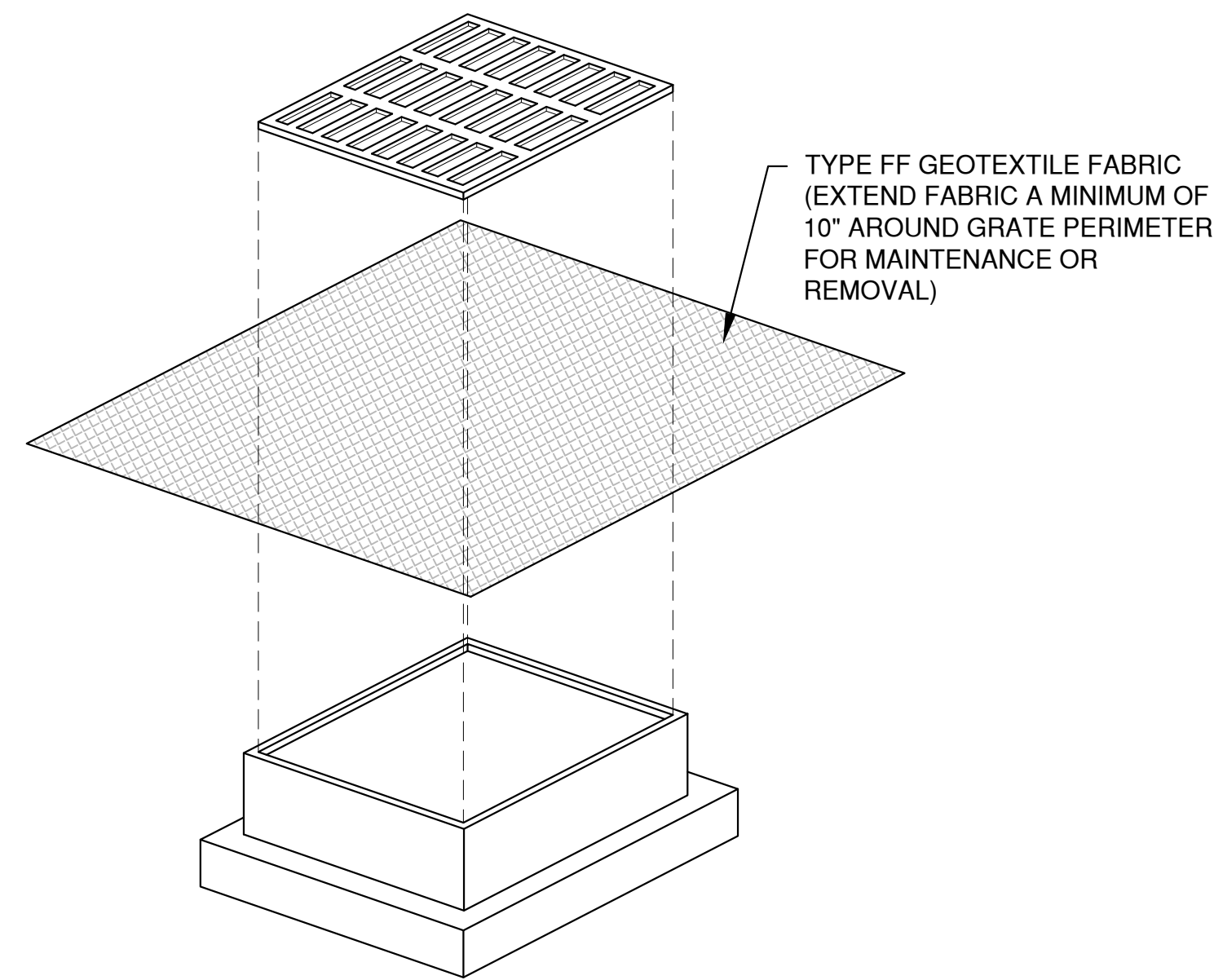
THE INSTALLED BAG SHALL HAVE A MINIMUM SIDE CLEARANCE, BETWEEN THE INLET WALLS AND THE BAG, MEASURED AT THE BOTTOM OF THE OVERFLOW HOLES, OF 3". WHERE NECESSARY, CINCH THE BAG, USING PLASTIC ZIP TIES, TO ACHIEVE THE 3" CLEARANCE, THE TIES SHALL BE PLACED AT THE MAXIMUM OF 4" FROM THE BOTTOM OF THE BAG.

**NOTES:**

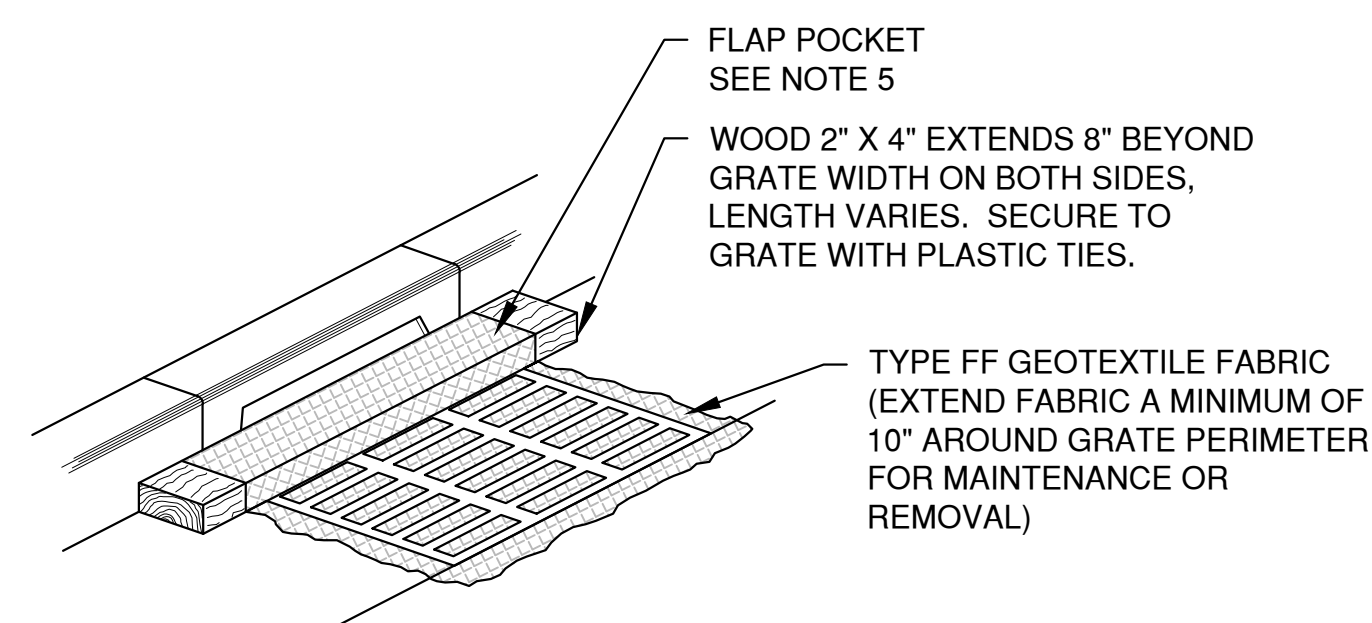
1. TAPER BOTTOM OF BAG TO MAINTAIN THREE INCHES OF CLEARANCE BETWEEN THE BAG AND THE STRUCTURE, MEASURED FROM THE BOTTOM OF THE OVERFLOW OPENINGS TO THE STRUCTURE WALL.
2. GEOTEXTILE FABRIC TYPE FF FOR FLAPS, TOP AND BOTTOM OF THE OUTSIDE OF FILTER BAG. FRONT, BACK AND BOTTOM OF FILTER BAG BEING ONE PIECE.
3. FRONT LIFTING FLAP IS TO BE USED WHEN REMOVING AND MAINTAINING FILTER BAG.
4. SIDE FLAPS SHALL BE A MAXIMUM OF TWO INCHES LONG. FOLD THE FABRIC OVER AND REINFORCE WITH MULTIPLE STITCHES.
5. FLAP POCKETS SHALL BE LARGE ENOUGH TO ACCEPT WOOD 2" X 4". THE REBAR, STEEL PIPE, OR WOOD SHALL BE INSTALLED IN THE REAR FLAP AND SHALL NOT BLOCK THE TOP HALF OF THE CURB FACE OPENING.



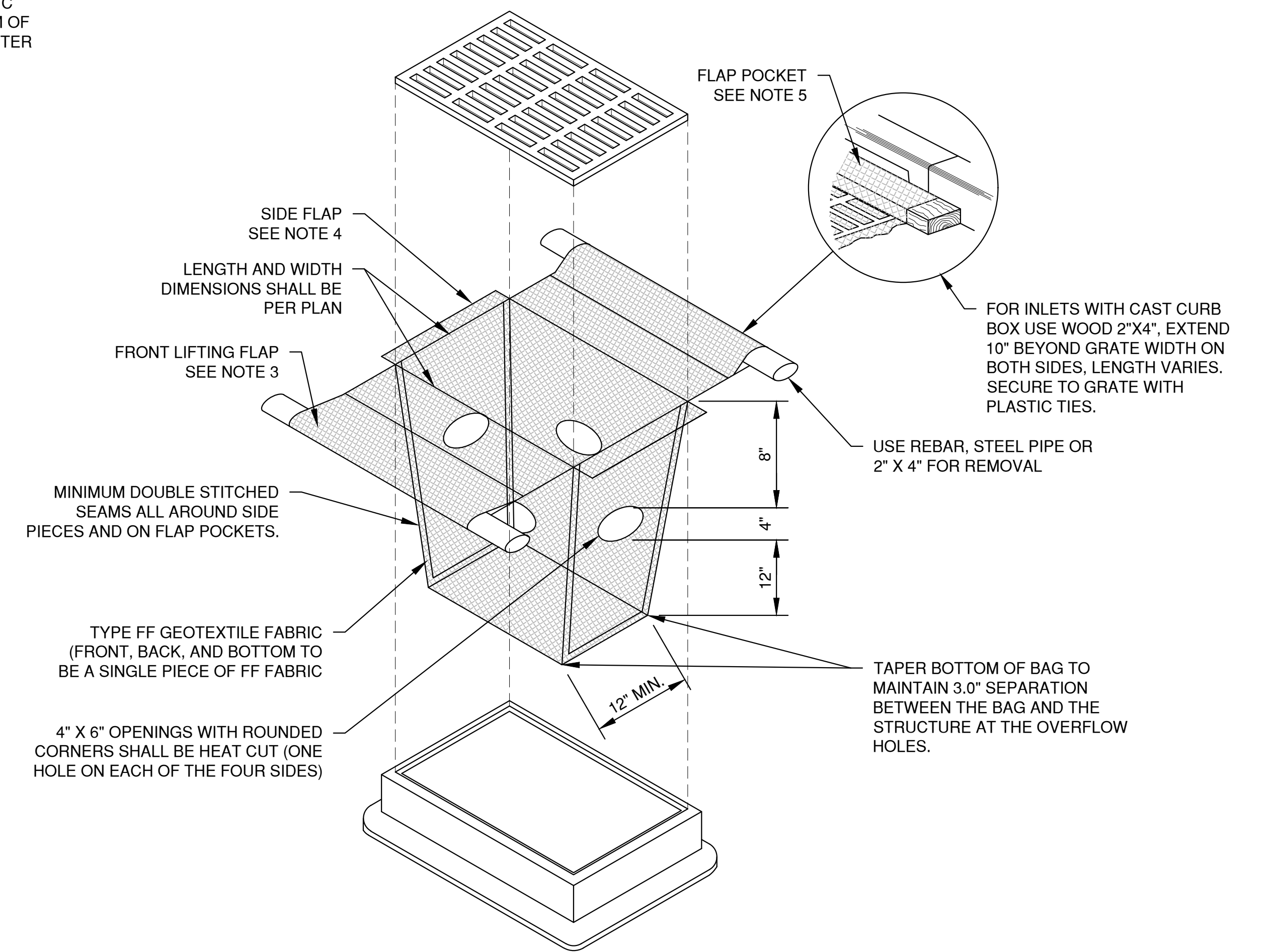
**INLET PROTECTION, TYPE A**



**INLET PROTECTION, TYPE B  
(WITHOUT CURB BOX)  
(CAN BE INSTALLED IN ANY INLET WITHOUT A CURB BOX)**



**INLET PROTECTION, TYPE C  
(WITH CURB BOX)**



**INLET PROTECTION, TYPE D  
(CAN BE INSTALLED IN INLETS WITH OR WITHOUT CURB BOXES)**

File: P:\A\2020\6538001\6538001.dwg (6/28/2024 10:27:00 AM)  
 Plot Date: Sep 26, 2024 10:27:00 AM  
 LAYOUT: I\_INLET PROTECTION

NO.	DATE	APPROV.	REVISION	NO.	DATE	APPROV.	REVISION	DRAWN	BUILDING EXPANSION FOR REBMAN PLUMBING VILLAGE OF KIMBERLY OUTAGAMIE COUNTY, WISCONSIN	EROSION CONTROL INLET PROTECTION TYPES A, B, C AND D	DATE	1250 Centennial Centre Blvd   Hobart, WI   920-662-9641   releinc.com	SHEET NO.
								CHECKED			09/2024		7
								DESIGNED			FILE		
								AJB			6538001 EC		
									JOB NO.				
									6538001				



**NOTES:**

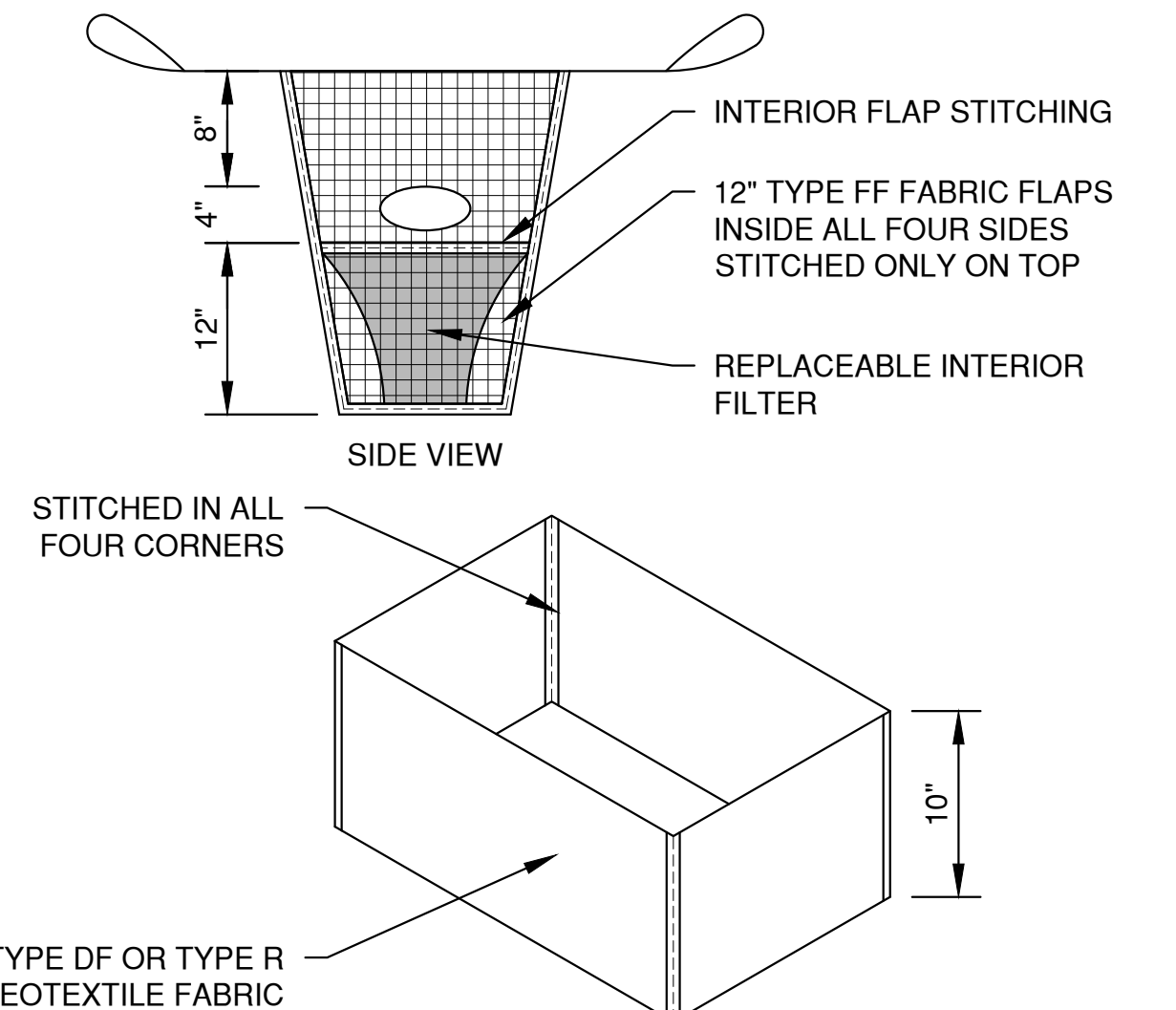
1. TAPER BOTTOM OF BAG TO MAINTAIN THREE INCHES OF CLEARANCE BETWEEN THE BAG AND THE STRUCTURE, MEASURED FROM THE BOTTOM OF THE OVERFLOW OPENINGS TO THE STRUCTURE WALL.
2. GEOTEXTILE FABRIC TYPE FF FOR FLAPS AND TOP HALF OF FILTER BAG. GEOTEXTILE FABRIC TYPE HR FOR BOTTOM HALF OF FILTER BAG. FRONT, BACK AND BOTTOM OF FILTER BAG BEING ONE PIECE.
3. FRONT LIFTING FLAP IS TO BE USED WHEN REMOVING AND MAINTAINING FILTER BAG.
4. SIDE FLAPS SHALL BE A MAXIMUM OF TWO INCHES LONG. FOLD THE FABRIC OVER AND REINFORCE WITH MULTIPLE STITCHES.
5. FLAP POCKETS SHALL BE LARGE ENOUGH TO ACCEPT WOOD 2" X 4". THE REBAR, STEEL PIPE, OR WOOD SHALL BE INSTALLED IN THE REAR FLAP AND SHALL NOT BLOCK THE TOP HALF OF THE CURB FACE OPENING.

**MAINTENANCE NOTES:**

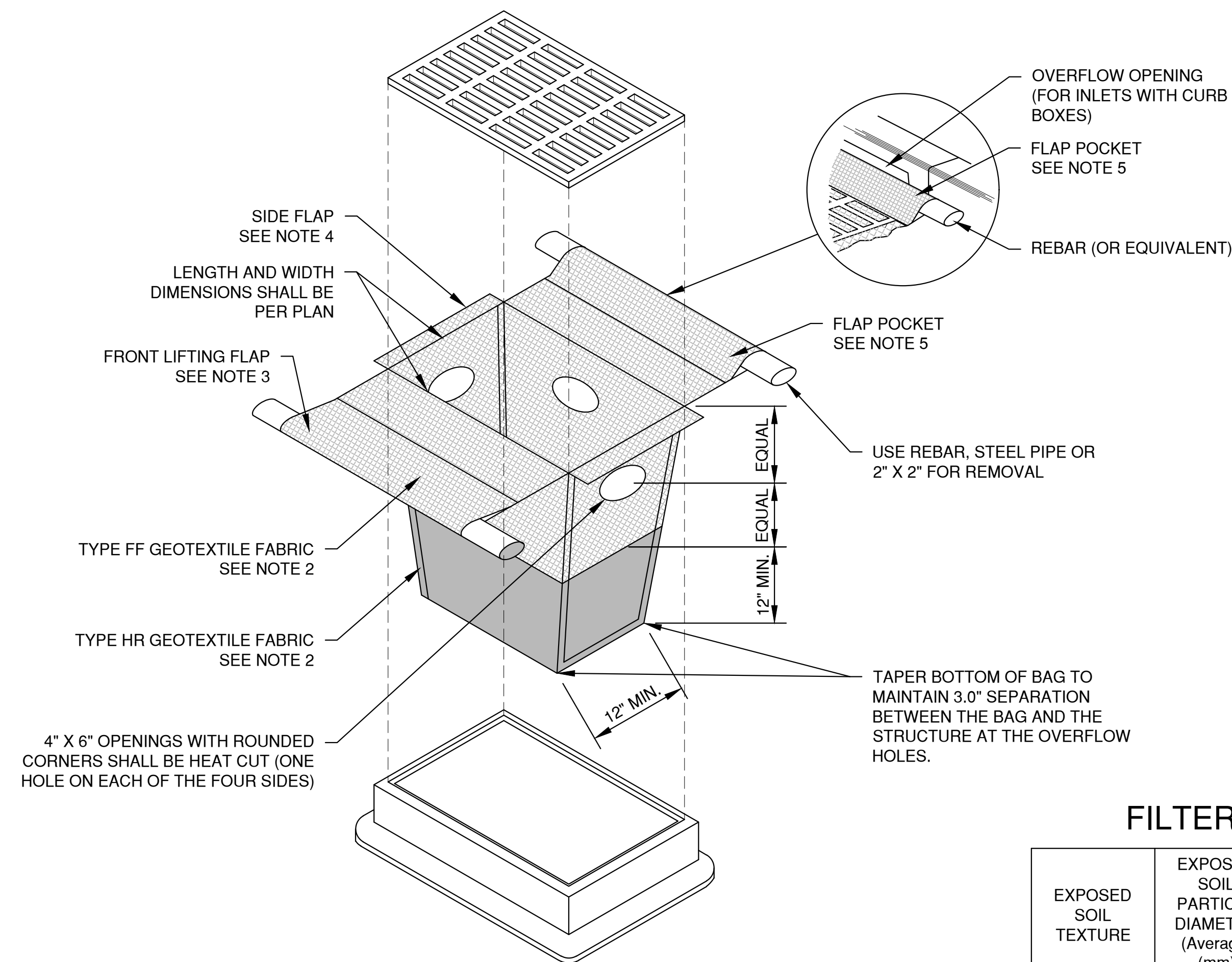
WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED IN THE FABRIC DOES NOT FALL INTO THE STRUCTURE. MATERIAL THAT HAS FALLEN INTO THE INLET SHALL BE IMMEDIATELY REMOVED.

**NOTES:**

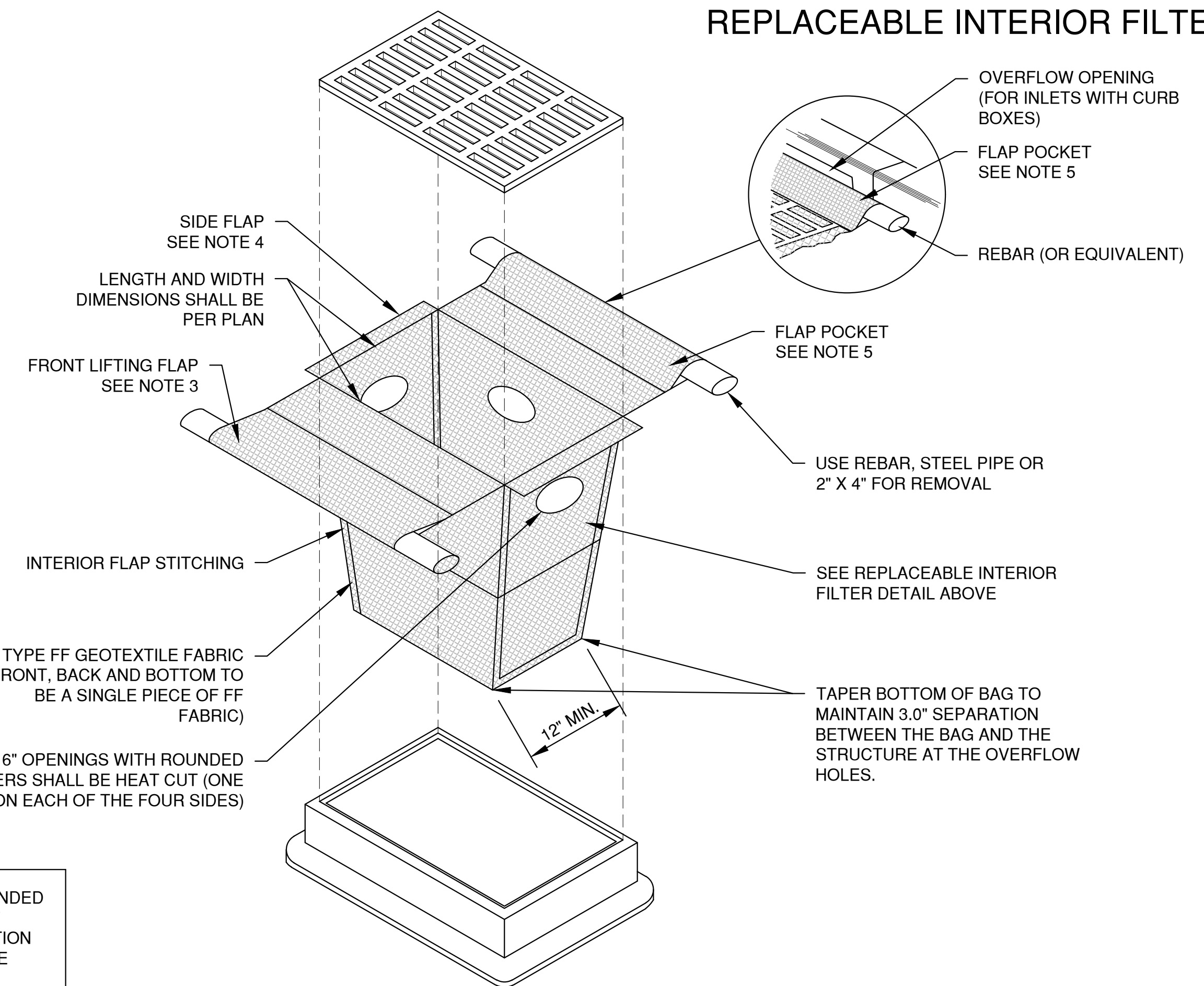
1. TAPER BOTTOM OF BAG TO MAINTAIN THREE INCHES OF CLEARANCE BETWEEN THE BAG AND THE STRUCTURE, MEASURED FROM THE BOTTOM OF THE OVERFLOW OPENINGS TO THE STRUCTURE WALL.
2. GEOTEXTILE FABRIC TYPE FF FOR FLAPS, TOP AND BOTTOM OF OUTSIDE OF FILTER BAG. FRONT, BACK AND BOTTOM OF FILTER BAG BEING ONE PIECE.
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**REPLACEABLE INTERIOR FILTER**



**INLET PROTECTION, TYPE D-HR**  
(CAN BE INSTALLED IN INLETS WITH OR WITHOUT CURB BOXES)



**INLET PROTECTION, TYPE D-M**  
(CAN BE INSTALLED IN INLETS WITH OR WITHOUT CURB BOXES)

**FILTER FABRIC TYPE**

EXPOSED SOIL TEXTURE	EXPOSED SOIL PARTICLE DIAMETER (Average) (mm)	FILTER FABRIC TYPE*	RECOMMENDED INLET PROTECTION DEVICE TYPE
COARSE (SAND)	≥ 0.0625	FF	D, D-M
MEDIUM (SILT LOAM)	0.0624 - 0.005	DF	D, D-M
FINE (CLAY)	≤ 0.004	R	D-M
		HR	D-HR

\* DF, R OR HR FILTERS MAY BE USED WHERE FF IS THE REQUIRED MINIMUM STANDARD. R OR HR MAY BE USED WHERE DF IS THE REQUIRED MINIMUM STANDARD.

\*\* FOLLOW DESIGN CRITERIA OF WDNR TECHNICAL STANDARD 1060

LAYOUT: 2. INLET PROTECTION File: P:\A\2020\6538001\6538001.dwg Date: 09/20/24 10:25am

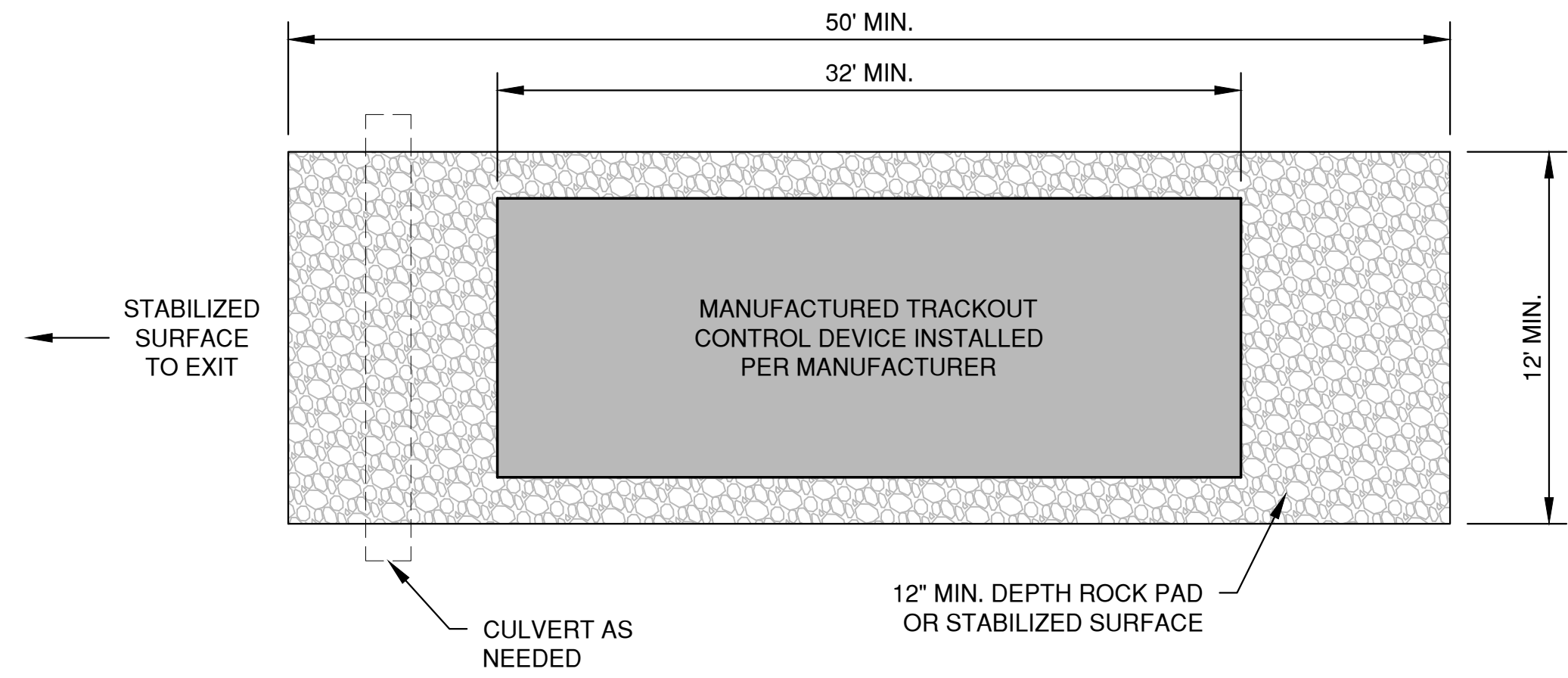
NO.	DATE	APPROV.	REVISION	NO.	DATE	APPROV.	REVISION	DRAWN
								LLP
								CHECKED
								DESIGNED
								AJB

BUILDING EXPANSION FOR  
REBMAN PLUMBING  
VILLAGE OF KIMBERLY  
OUTAGAMIE COUNTY, WISCONSIN

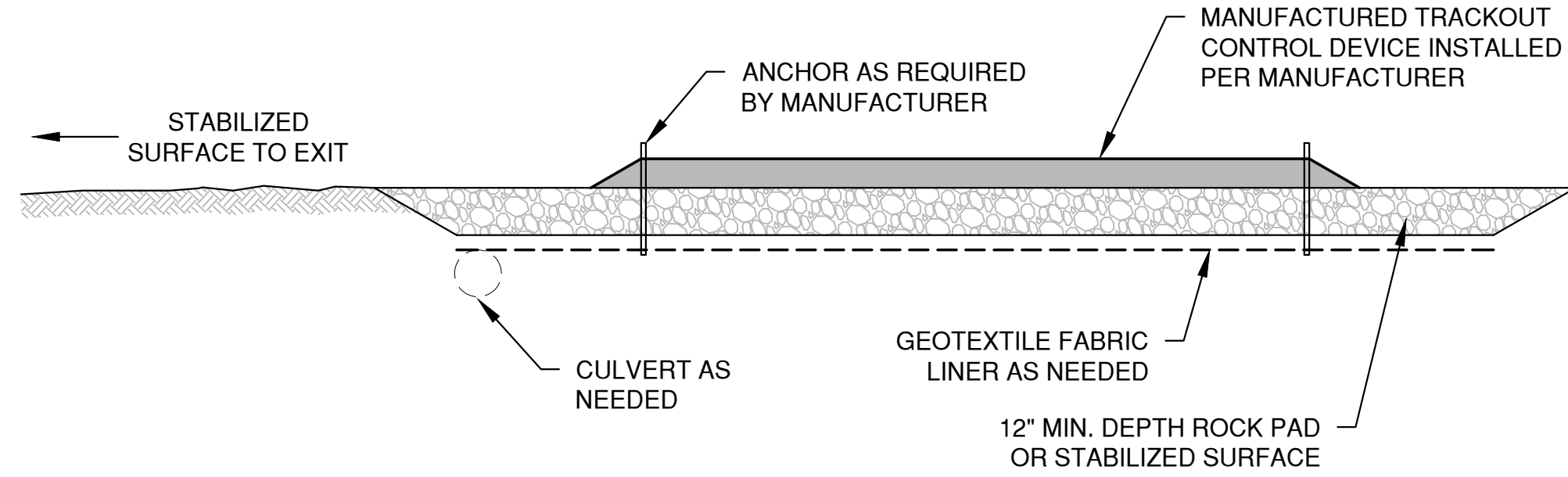
EROSION CONTROL  
INLET PROTECTION  
TYPE D-HR AND TYPE D-M

DATE	09/20/24
FILE	6538001 EC
JOB NO.	6538001

\* TRACKOUT CONTROL TO BE PROVIDED PER DETAILS BELOW AND IN ACCORDANCE WITH WDNR TECHNICAL STANDARD 1057



PLAN VIEW  
(NTS)

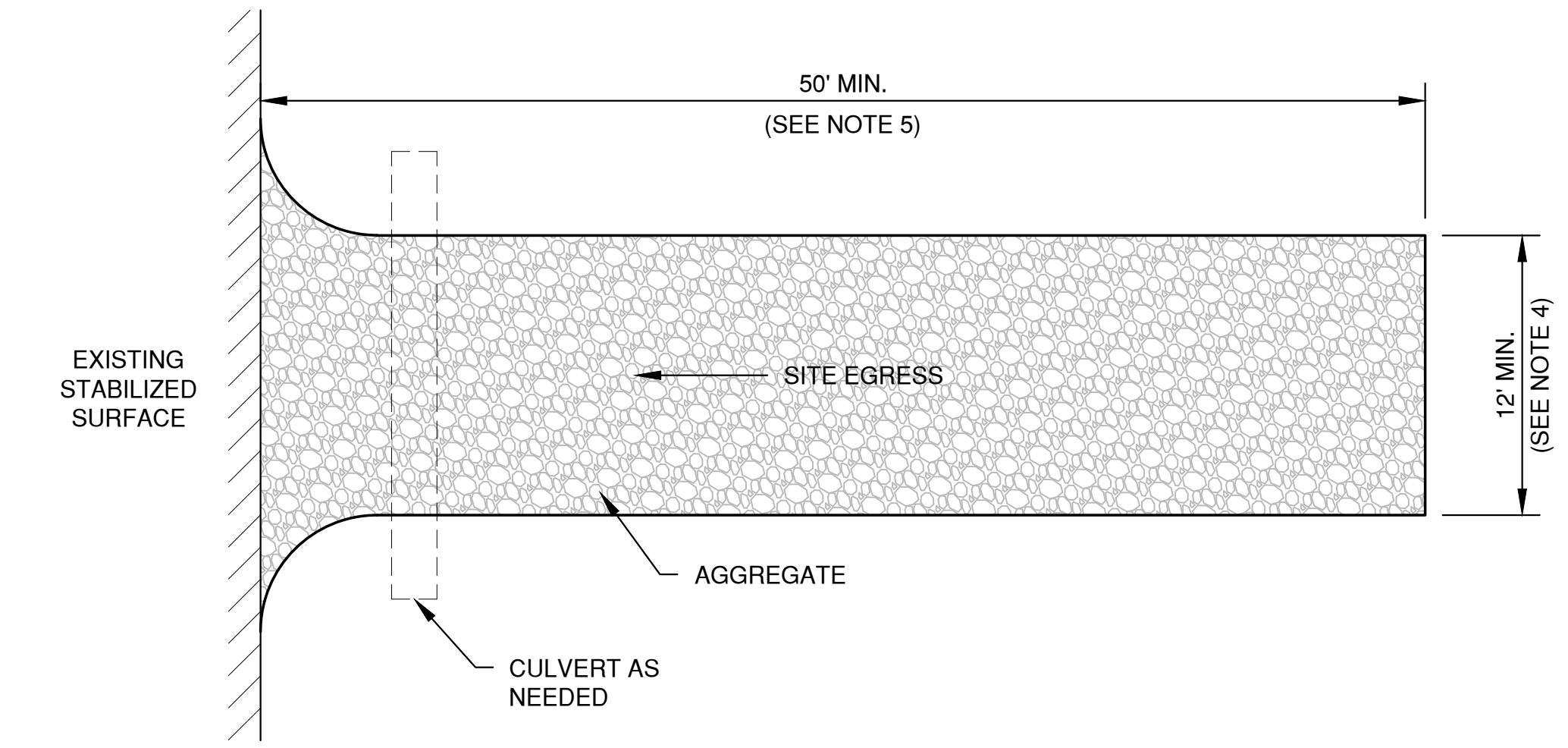


SECTION VIEW

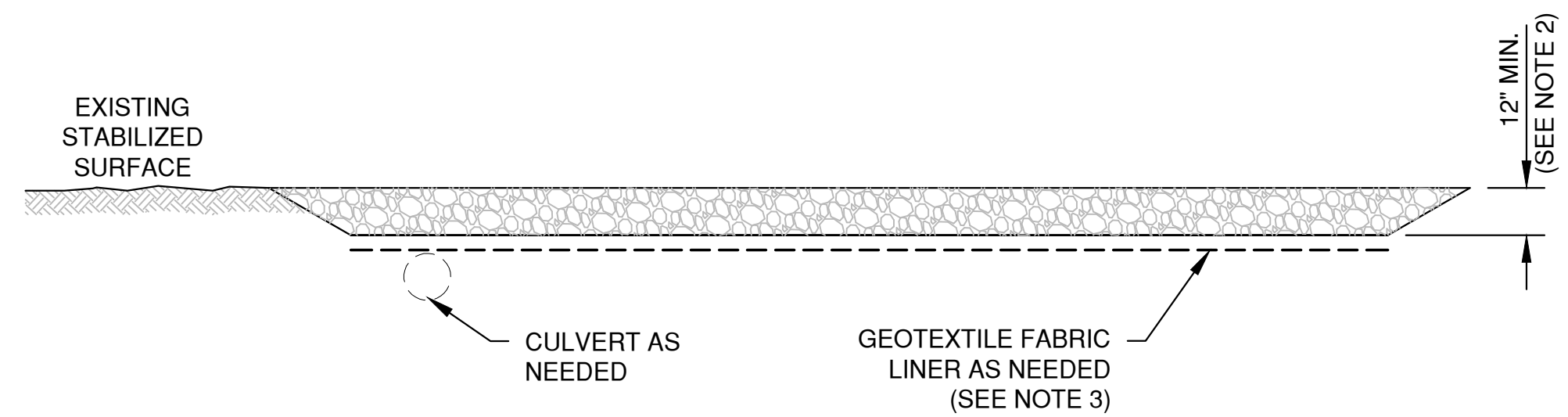
NOTES:

- THIS DETAIL IS PROVIDED AS AN EXAMPLE. COMPLY WITH MANUFACTURER'S SPECIFICATIONS WHILE ALSO MEETING THE MINIMUM MANUFACTURED TRACKING PAD LENGTH AND WIDTH DESCRIBED IN THIS TECHNICAL STANDARD.
- INSTALL SUCH THAT RUNOFF FLOWS TO AN APPROVED TREATMENT PRACTICE.
- A THINNER STONE LAYER OR OTHER STABLE SURFACE MAY BE ACCEPTABLE SUCH THAT RUTTING IS MINIMIZED AS VEHICLES MOUNT OR DISMOUNT FROM THE MANUFACTURERS TRACKOUT CONTROL DEVICE.
- SELECT FABRIC TYPE BASED ON SOIL CONDITIONS AND VEHICLES LOADING.
- DIRECT ALL EXISTING VEHICLES OVER MANUFACTURED TRACKOUT CONTROL DEVICE. STONE TRACKING PAD INSTALLATION ACROSS REMAINING ACCESS WIDTH IS RECOMMENDED. A 12' MINIMUM CAN BE USED WHEN EXITING TRAFFIC IS RESTRICTED TO A DEDICATED EGRESS LANE.
- IF MINIMUM INSTALLATION LENGTH IS NOT POSSIBLE DUE TO SITE GEOMETRY, INSTALL THE MAXIMUM LENGTH PRACTICABLE AND SUPPLEMENT WITH ADDITIONAL PRACTICES AS NEEDED.
- ACCOMMODATE EXITING VEHICLES IN EXCESS OF MANUFACTURED TRACKOUT CONTROL DEVICE WEIGHT CAPACITY WITH OTHER TREATMENT PRACTICES.

MANUFACTURED TRACKOUT CONTROL DETAIL



PLAN VIEW  
(NTS)



SECTION VIEW

NOTES:

- USE HARD, DURABLE, ANGULAR STONE OR RECYCLED CONCRETE, MEETING THE FOLLOWING GRADATION:

SIEVE SIZE:	PERCENT BY WEIGHT PASSING:
3"	100
2 1/2"	90-100
1 1/2"	25-60
3/4"	0-20
3/8"	0-5
- SLOPE THE STONE TRACKING PAD IN A MANNER TO DIRECT RUNOFF TO AN APPROVED TREATMENT PRACTICE.
- SELECT FABRIC TYPE BASED ON SOIL CONDITIONS AND VEHICLES LOADING.
- INSTALL TRACKING PAD ACROSS FULL WIDTH OF THE ACCESS POINT, OR RESTRICT EXISTING TRAFFIC TO A DEDICATED EGRESS LANE AT LEAST 12 FEET WIDE ACROSS THE TOP OF THE PAD.
- IF A 50' PAD LENGTH IS NOT POSSIBLE DUE TO SITE GEOMETRY, INSTALL THE MAXIMUM LENGTH PRACTICABLE AND SUPPLEMENT WITH ADDITIONAL PRACTICES AS NEEDED.

STONE TRACKING PAD DETAIL

File: P:\A\2020\65380\65380101.dwg 6/5/2024 10:25am  
LAYOUT: 5\_TRACKOUT

NO.	DATE	APPROV.	REVISION	NO.	DATE	APPROV.	REVISION

BUILDING EXPANSION FOR  
REBMAN PLUMBING  
VILLAGE OF KIMBERLY  
OUTAGAMIE COUNTY, WISCONSIN

EROSION CONTROL  
TRACKOUT CONTROL PRACTICES

DATE  
09/2024  
FILE  
6538001 EC  
JOB NO.  
6538001

**REL** Robert E. Lee  
& Associates, Inc.  
1250 Centennial Centre Blvd | Hobart, WI | 920-662-9641 | releinc.com

SHEET NO.  
**9**

**From:** [Brad Werner](#)  
**To:** [Sam Schroeder](#)  
**Cc:** [Aaron J. Breitenfeldt](#); [Danielle Block](#); [Anna Huber](#)  
**Subject:** Rebman Plumbing 100 W Kimberly Ave Redevelopment Plan Review  
**Date:** Friday, December 6, 2024 11:47:38 AM  
**Attachments:** [image001.gif](#)  
[REBMAN PLUMBING 100 W KIMBERLY AVE.pdf](#)

---

Hi Sam,

Attached is my markup of the plans submitted for this Rebman Plumbing Site Redevelopment Project.

1. No stormwater treatment is required for this site as it currently drains to Village Regional Facilities to comply with Village water quality standards. ERU's should be updated by completing the attached form. I assumed the existing condition is all impervious however the site modifications may provide green space which will reduce the ERU's and billing amount.
2. Site drainage has been a concern in the past in this location. There is no drainage plan for this lot and water currently sheds to neighboring properties and not directly to village owned collection systems. As we discussed with the owner and their engineer, this situation requires rectification. It is recommended that the owner install a collection system for storm water. This would most simply be done by connecting to the back of the inlet just east of their driveway opening on Kimberly Ave to connect to the Village system. A line can be extended into the property to allow for collection of surface water. An inlet can be installed on the east side of the driveway entrance as shown on my markup of their site plan. Either a curb head or small containment Berm or swale could collect water along the east property line and collect the surface water north of the Kimberly Ave sidewalk. In addition, it would be wise to collect roof runoff so that this major source of runoff can be properly directed to the storm sewer. The area north of the building drains onto private property and should also be collected and not discharged onto Bluebird Lane (a private drive lane).
3. The proposed building is higher than the paved area to the west by what appears to be 6 inches. The property to the west has an ingress / egress easement provided by that property owner. How will the transition be handled and does the transition encroach the neighboring property? Has the neighbor seen and plan and are they aware that the plans show a disturbance and grade change on their property?
4. The site plan notes existing storm drains, however, these would have been sanitary drains for the car wash bays. These are required to be completely disconnected from the sanitary line. Our records from the 2015 sanitary and water relay on Kimberly Ave indicate the lateral connection to the existing on private property was to a 6 inch sch 35 PVC line. This line would be material compliant with our ordinance. I would recommend a final televising of this line be done and provided to the Village to demonstrate that the post constructed line is fully intact and that all connections are for the new improvements only.

Let me know if you have any questions or concerns.

Thanks,  
Brad

**Brad D. Werner, P.E.**

Vice President / Sr Municipal Engineer



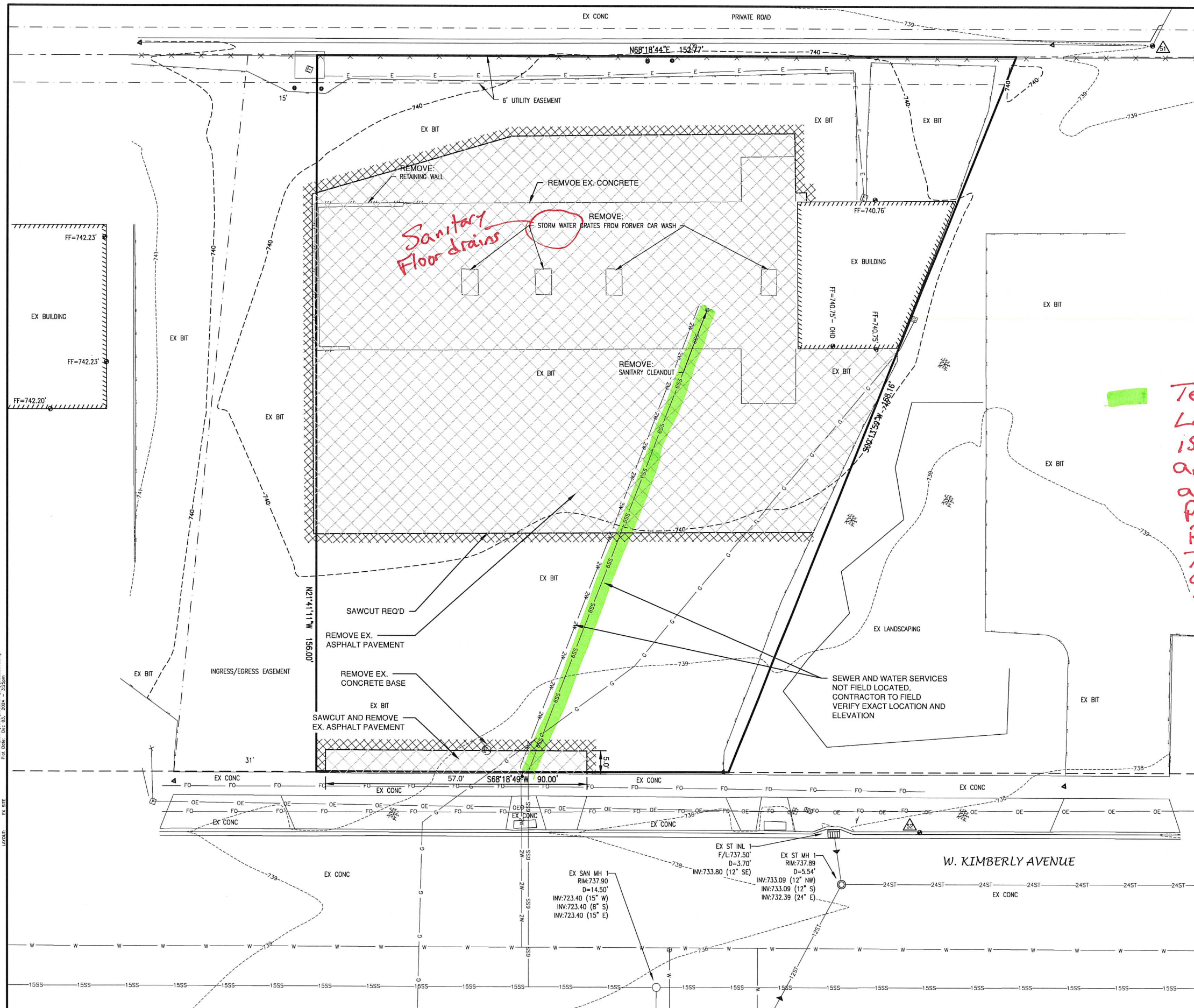
1445 McMahan Dr | Neenah, WI 54956

O:920.751.4200 x225 | C:920.858.6072

[website](#) | [facebook](#) | [linkedin](#) | [instagram](#)

**Confidentiality Statement**

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**DEMOLITION NOTES**

1. EXISTING ASPHALT AND BASE COURSE MAY BE PULVERIZED AND STOCKPILED ON SITE FOR FUTURE USE.
2. EXISTING GAS, ELECTRIC, CABLE TELEVISION AND TELEPHONE TO BE REMOVED AND/OR RELOCATED BY OTHERS. WORK SHALL BE COORDINATED BY GENERAL CONTRACTOR.
3. ALL MISCELLANEOUS STRUCTURES SHALL BE REMOVED.
4. DRIVEWAY OPENINGS SHALL BE REMOVED AND CURB OPENINGS SHALL BE CLOSED IN ACCORDANCE WITH STANDARD DETAIL "CURB REMOVAL", SEE DETAIL SHEETS.

BENCHMARK		BENCHMARK ESTABLISHED BY: ROBERT E. LEE & ASSOCIATES, INC. FIELD VERIFY BENCHMARKS FOR ACCURACY.	
NO.	DESCRIPTION	EL.	
51	CROSS ON TOP-BACK-CURB	737.90	
52	CORNER TOP-BACK-CURB	739.01	

*Televise Existing Sanitary Lateral to confirm there is no clearwater entering and no wyes from abandoned floor drains. Provide Televising and Report to Village. Televising can be completed after modifications to the line have been completed per Engineer's note on Sheet 4.*





## Village of Kimberly Request for Board Consideration

<b>ITEM DESCRIPTION:</b> Site & Architectural Review – Caseys Rentals LLC located at 420 S Washington St
<b>REPORT PREPARED BY:</b> Sam Schroeder, Community Development Director
<b>REPORT DATE:</b> January 6, 2025
<p><b>ADMINISTRATOR'S REVIEW / COMMENTS:</b></p> <p style="margin-left: 40px;">No additional comments to this report _____ <i>DLB</i> _____</p> <p style="margin-left: 40px;">See additional comments attached _____ <i>STS</i> _____</p>
<p><b>EXPLANATION:</b> Kelly Sperl with Architectural &amp; Construction Services, Inc. on behalf of Caseys Rental LLC has submitted a site review application for a proposed redevelopment of the former convenience store and carwash located at 420 S Washinton Street. Following an approved CSM separating the store from the larger industrial site earlier this summer, Caseys Rental LLC acquired the property with plans to rejuvenate the property. The property totals 1.06 acres and is zoned I-2, general industrial district.</p> <p>Attached to this staff report includes:</p> <ol style="list-style-type: none"> <li>1. Plan Commission Staff Report</li> <li>2. Site Plan Review Application</li> <li>3. Project Description</li> <li>4. Plan Drawings</li> <li>5. Engineer Review Comments</li> </ol> <p>Additional Comments:</p> <p>Since the approval of the Site Plan by the Plan Commission, the Owner has requested additional time to finish the landscaping and the removal of the driveway being 3 years from occupancy. The Owner would consider, blocking the driveway access at this time in some fashion and stripping the area to be planted.</p>
<p><b>RECOMMENDED ACTION:</b> Confirm the Plan Commission recommendation for approval of the site plan and architectural components for Caseys Rental LLC located at 420 S Washington Street as presented with the condition that the driveway access be removed within six months of receiving a certificate of occupancy.</p>



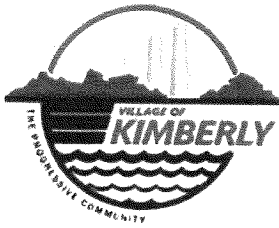
## Village of Kimberly Request for Plan Commission Recommendation

<b>ITEM DESCRIPTION:</b> Site & Architectural Review – Caseys Rentals LLC located at 420 S Washington St
<b>REPORT PREPARED BY:</b> Sam Schroeder, Community Development Director
<b>REPORT DATE:</b> December 17, 2024
<p><b>EXPLANATION:</b> Kelly Sperl with Architectural &amp; Construction Services, Inc. on behalf of Caseys Rental LLC has submitted a site review application for a proposed redevelopment of the former convenience store and carwash located at 420 S Washinton Street. Following an approved CSM separating the store from the larger industrial site earlier this summer, Caseys Rental LLC acquired the property with plans to rejuvenate the property. The property totals 1.06 acres and is zoned I-2, general industrial district.</p> <p>Attached to this staff report includes:</p> <ol style="list-style-type: none"> <li>1. Site Plan Review Application</li> <li>2. Project Description</li> <li>3. Plan Drawings</li> <li>4. Engineer Review Comments</li> </ol> <p><b>Scope of Construction – Reference Project Description and Plans for additional insight.</b></p> <ol style="list-style-type: none"> <li>1. The Applicant is proposing to convert the former convenience store into a commercial kitchen with retail sales and serving hot food to go specializing in BBQ. Half of the former carwash will be converted into a salon and the remaining half will remain as is for now.</li> <li>2. Retail Sales - 3,295 SF; Salon – 895 SF; Remaining storage 1,395 SF</li> <li>3. The Applicant is proposing minor changes to the façade which include enclosing the Salon space with a store front matching the existing façade materials, the replacement of the recessed lighting, and possibly painting the upper canopy in the future.</li> <li>4. Upon staff recommendation, the Applicant has proposed a landscape buffer along the sidewalk to provide additional safeguards and a soften edge for this commercial corridor. A landscape island will also be placed along the west property line to define the property boundaries and minimize cross traffic with the remaining industrial site in the rear of the property.</li> <li>5. The Applicant will also remove a secondary vehicle access to S Washington St to improve vehicle and pedestrian safety in this area following staff recommendation.</li> <li>6. The Applicant does cater food, operate a food truck and a smoker. These elements would be stored in the rear (west) of the building.</li> <li>7. The site currently is impervious and is part of a regional stormwater basin so no on-site treatment is proposed or needed.</li> </ol> <p>The staff zoning review identified the proposed project complies with applicable ordinances. Staff has completed a review of the site for compliance with the Kimberly Municipal Code whereas the proposed project substantially meets code and notes the following:</p>



1. **Engineering Comments.** The Village does recommend further investigation into the Water and Sanitary Service including televising to ensure code compliance and in good repair. Further recommendations are attached to this memo.
2. **Lighting.** A photometric plan was not submitted. The proposed recessed lighting should be minimal with minimal impacts upon adjoining properties. The Village would reserve the right to review the lighting to ensure code is being met following the installation.
3. **Outside Storage.** Staff is recommending the primary exterior storage of materials, trailers, food trucks, etc., shall be stored in the rear of the building out of public view.
4. **Building Inspections and Approvals.** Building plan review and inspections will be completed by the State of Wisconsin, unless delegation authority is completed by the Village of Kimberly.

**RECOMMENDED ACTION:** Staff recommends approval of the site plan and architectural components for Caseys Rental LLC located at 420 S Washington Street as presented.



VILLAGE OF KIMBERLY
Site Review Application

Submit to:
Planning & Zoning
515 W. Kimberly Ave.
Kimberly WI 54136
920-788-7500

Applicant Information

Petitioner: Kelly Sperl Date: 11/12/24
Petitioner Address: 321 Randolph Dr. City: Appleton State: WI Zip: 54913
Telephone #: (920) 707-4226 Fax: ( ) - email: KSperl@gmail.com
Status of Petitioner (please check one): Owner X Representative Tenant Prospective Buyer

Petitioner's Signature (required): [Signature]

Owner Information

Owner(s): Alex Casey Date: 11/12/24
Owner(s) Address: W2663 Saratoga Dr. City: Appleton State: WI Zip: 54915
Telephone #: (920) 213-3988 Fax: ( ) - email: alexcasey66@gmail.com
Ownership Status (please check one): X Individual Trust Partnership Corporation

Property Owner Consent (required):

By signature hereon, I/We acknowledge that Village officials and/or employees may, in the performance of their functions and duties, enter upon the property to inspect or gather other information necessary to process this application. I also understand that all meeting dates are tentative and may be postponed by the Village for incomplete submissions or other administrative reasons.

Property Owner's Signature: [Signature] Date: 11-11-24

Site Information

Address/Location of Proposed Project: 420 S. Washington St. Zoning:
Proposed Project or Use: BBQ Take-Out + Retail / Barbershop
Current or last Use of Property: Previous G-Store / Gas Station
Land Uses Surrounding this Address: North: Railroad
South: Ex. Parking lot
East: Commercial Businesses
West: Commercial Business

- It is recommended that the applicant meet with Village Department staff prior to submittal to review the project and submitted materials.
Application Fees must be submitted with the application.

12/1/2024

Hello,

My name is Alex and my wife's is Brianna. We have a three year old son named Crosby as well as 2 new baby Twin boys Reed and Grant, that we just were able to bring home after 60 long days in the NICU today! We are the Casey Family. I grew up in Darboy, graduated from Kimberly, and my wife and I plan to put our three boys through the Kimberly school district as well. Kimberly is a special place, and we are beyond excited to be apart of this Great community.

We purchased this property on 420 South Washington Street with a dream in hand. A location and building that we could utilize for both of our dreams to be exact. This building will be "split" into two different businesses. The convenient store part will be a BBQ space. And the Car Wash part will be a Barber Shop.

My wife is a Barber, but will now take the roll as the Full-time parent. Her love to her craft though is unmatched. She has always dreamed of opening a true "old style" men's barber too. So this is her time, her leap into running a chair rental in her own Barber Shop. There will be 5 chairs in this Barber Shop. All will be available for rent. Our goal is to create a place guys look forward to going to. Not just an overpriced "haircut", but a true straight shave.

I am a machinist by trade, but work as a pump technician at Liquid Process Equipment in Kaukauna. My passion though is in BBQ, Texas Style BBQ to be exact. I have been running Who's The Man BBQ for Three years now. Luckily enough we have been fortunate to grow each year and keep investing back into the business to keep growing. I plan to use the convenient part of the building for BBQ. Think of it as a little meat market, but with all fresh and ready to go meats. Our Kitchen will be more laid out as a catering style kitchen. This is not a restaurant. We are big into our catering side of the business, so the space we will have to work with will be nice.

We did purchase a lot of parking lot with this building. We are very excited to hopefully in the future be able to plan a few Whole Hog Roasts and do some small events in it.

There is a lot of work to be done to get where we want to be with the building. But we are excited for the work. We are excited to be apart of this great community of Kimberly.

Thank you,

Alex Casey

Who's The Man BBQ

920-213-3988

# INTERIOR REMODEL FOR, 420 S. WASHINGTON STREET

KIMBERLY,

WISCONSIN

## GENERAL NOTES

THESE DRAWINGS COVER STRUCTURAL AND GENERAL CONSTRUCTION WORK ONLY. ALL WORK SHALL CONFORM TO STATE AND LOCAL CODES WHICH GOVERN FOR THE BUILDING SITE, AND SHALL BE DONE IN A WORKMANLIKE MANNER.

THE CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH ALL ARCHITECTURAL, MECHANICAL AND ELECTRICAL DRAWINGS TO VERIFY THE LOCATION AND DIMENSIONS OF CHASES, INSERTS, OPENINGS, SLEEVES, REGLETS, DEPRESSIONS AND OTHER PROJECT REQUIREMENTS NOT SHOWN ON THE STRUCTURAL DRAWINGS.

OPENINGS SHOWN ON THE STRUCTURAL DRAWINGS SHALL NOT BE REVISED WITHOUT WRITTEN APPROVAL FROM THE ARCHITECT.

CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS, ELEVATIONS AND CONDITIONS AND NOTIFY ARCHITECT OF ANY DISCREPANCIES.

THE TYPICAL DETAILS SHOWN ON THE DRAWINGS SHALL BE APPLICABLE TO ALL PARTS OF THE CONTRACT DRAWINGS UNLESS SPECIFICALLY NOTED OTHERWISE.

THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR JOB SAFETY DURING CONSTRUCTION.

## PROJECT INFORMATION

CONSTRUCTION CLASSIFICATION  
BUILDING TYPE - IIB NON-COMBUSTIBLE  
NON-SPRINKLED - NON-SEPARATED USES

### OCCUPANCY

"M" MERCANTILE  
CHANGE OF USE FROM "B" BUSINESS

### OCCUPANCY

"M" MERCANTILE  
RETAIL AREA 1,300 SF div. 60 = 22 ppl.  
OTHER AREAS 4,285 SF div. 300 = 15 ppl.

"B" BUSINESS  
DETERMINED BY USE = 10 TO 14 PPL.

### ALLOWABLE AREA

	CHPTR. 5	CHPTR. 9
"M" MERCANTILE	12,500 SF	12,000 SF
"B" BUSINESS	23,000 SF	12,000 SF

### 2015 IEBC CHANGE OF USE HAZARD CATEGORIES

1012.4 MEANS OF EGRESS  
M-MERCANTILE HAZARD LEVEL 3  
B-BUSINESS HAZARD LEVEL 4  
M IS HIGHER HAZARD THAN B

1012.5 HEIGHTS & AREAS  
M-MERCANTILE HAZARD LEVEL 3  
B-BUSINESS HAZARD LEVEL 4  
M IS HIGHER HAZARD THAN B

1012.6 EXPOSURE OF EXT. WALLS  
M-MERCANTILE HAZARD LEVEL 2  
B-BUSINESS HAZARD LEVEL 3  
M IS HIGHER HAZARD THAN B

### TOILET ROOM FIXTURES

"B" BUSINESS  
LESS THAN 15 PEOPLE  
- SINGLE TOILET ROOM PROVIDED.

"M" MERCANTILE  
LESS THAN 100 PEOPLE  
- TOILET ROOMS ARE EXISTING.



## SHEET INDEX

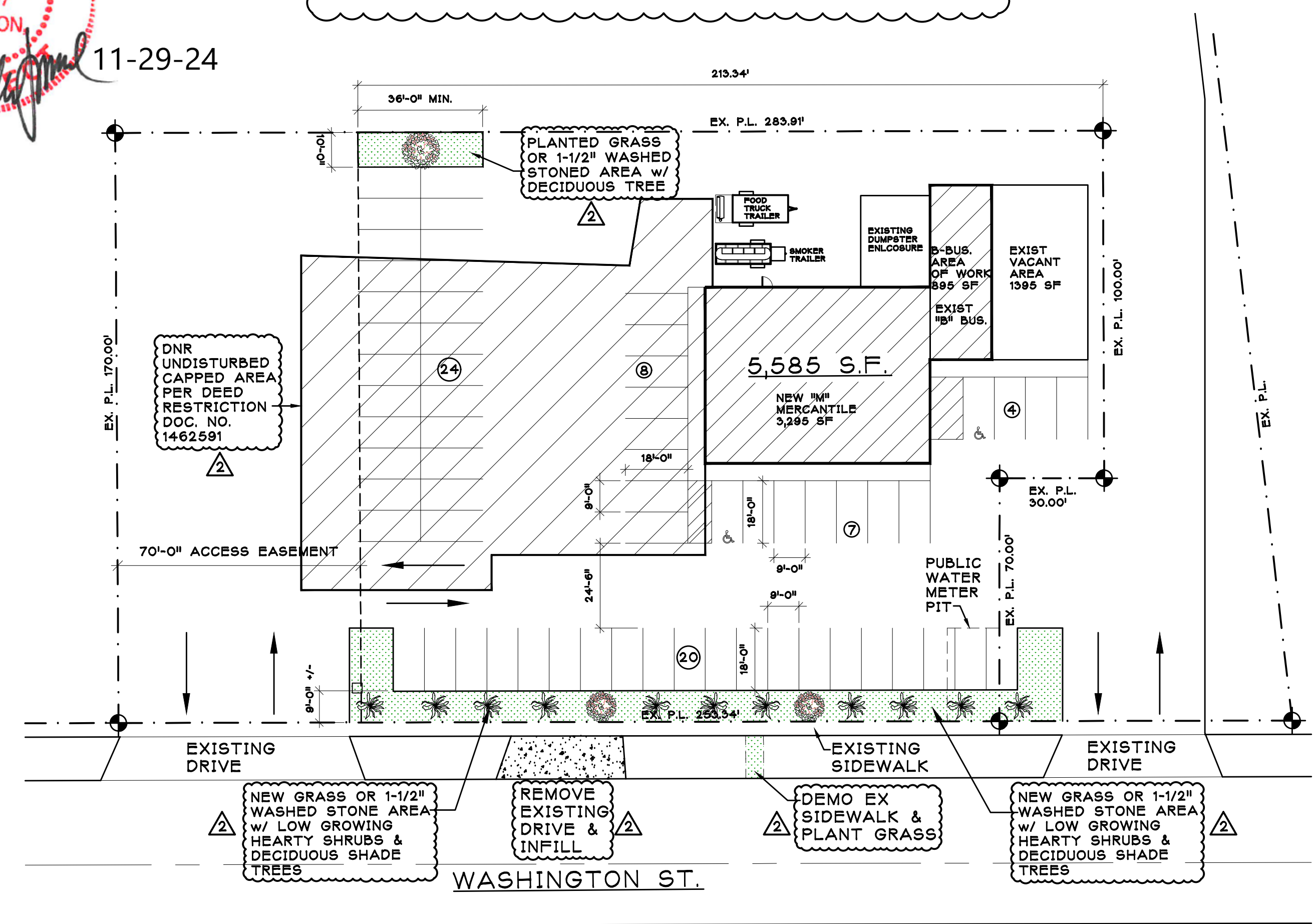
SHEET	SHEET TITLE
T.1.0	COVER SHEET, INDEX & NOTES

ARCHITECTURAL	
A1.0	FLOOR PLAN
A1.1	EGRESS PLAN
A1.2	EXTERIOR ELEVATIONS
A2.0	ADA DETAILS

### PER DEED RESTRICTIONS DOC. NO. 14652591

THE FOLLOWING ACTIVITIES ARE PROHIBITED ON THE PORTION OF THE PROPERTY WHERE CAPPED AREA IS SHOWN BELOW.

- (1) EXCAVATING OR GRADING OF THE LAND SURFACE
- (2) FILLING ON THE CAPPED AREA
- (3) PLOWING FOR AGRICULTURAL CULTIVATION
- (4) CONSTRUCTION OR INSTALLATION OF A BUILDING OR OTHER STRUCTURE WITH A FOUNDATION THAT WOULD SIT ON OR BE PLACED WITHIN THE CAP OR COVER.
- (5) ANY OTHER ACTIVITY THAT WOULD DECREASE THE EFFECTIVENESS OF THE IMPERVIOUS BARRIER.

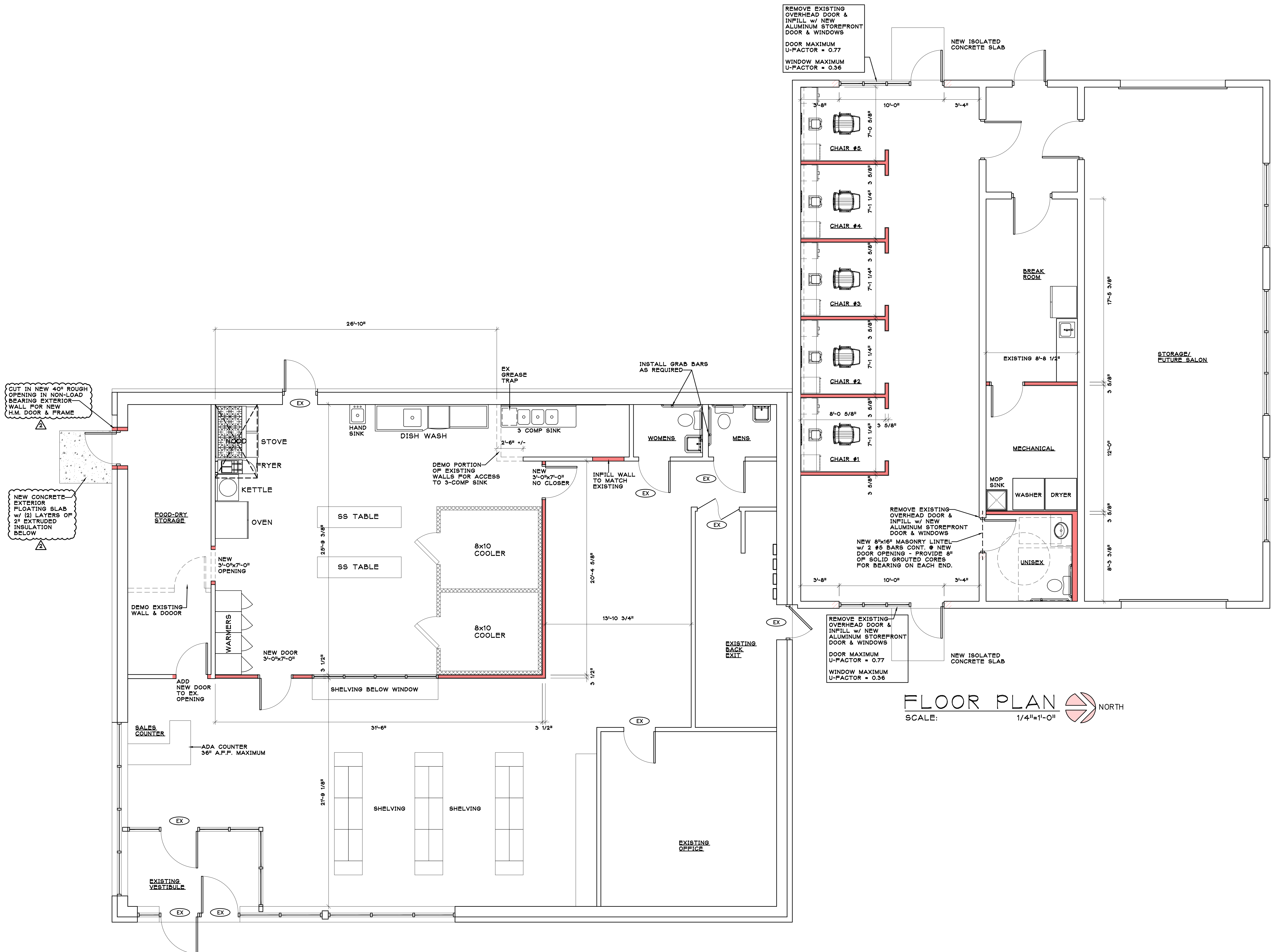


SCHMATIC SITE PLAN  
NO SCALE

AN INTERIOR REMODEL FOR,  
420 S. WASHINGTON ST.  
KIMBERLY,  
WISCONSIN

DATE: OCT. 24, 2024  
ARCH. K. SPERL  
D. BY: S. BURTON  
JOB: 24-060  
REVISIONS  
▲ ADDED A1.2 EXT. ELEVATIONS 11-12-24  
▲ FOR VILLAGE SITE PLAN REVIEW 12-17-24

T  
1.0



CUT IN NEW 40" ROUGH OPENING IN NON-LOAD BEARING EXTERIOR WALL FOR NEW H.M. DOOR & FRAME

NEW CONCRETE EXTERIOR FLOATING SLAB w/ (2) LAYERS OF 2" EXTRUDED INSULATION BELOW

REMOVE EXISTING OVERHEAD DOOR & INFILL w/ NEW ALUMINUM STOREFRONT DOOR & WINDOWS  
DOOR MAXIMUM U-FACTOR = 0.77  
WINDOW MAXIMUM U-FACTOR = 0.36

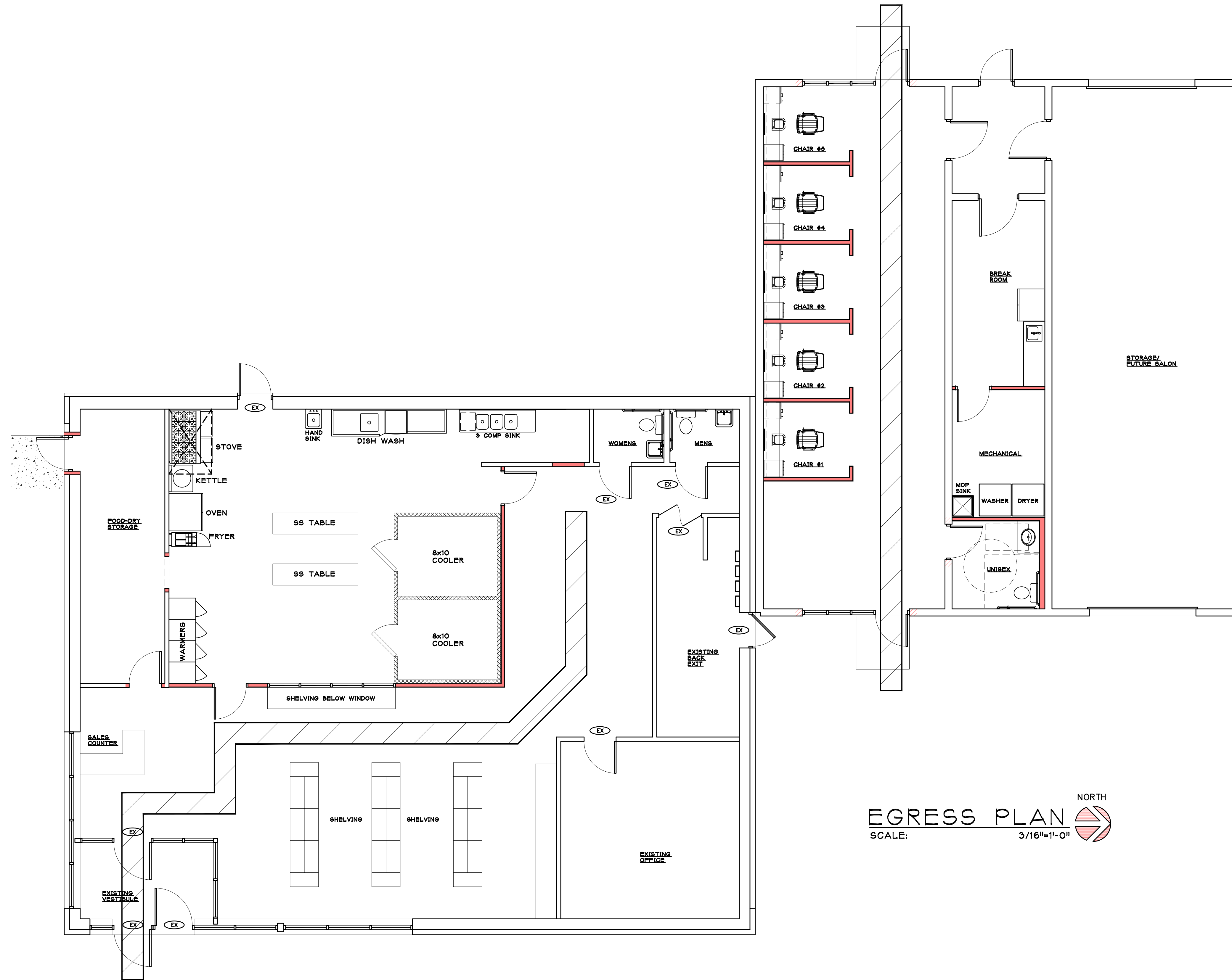
REMOVE EXISTING OVERHEAD DOOR & INFILL w/ NEW ALUMINUM STOREFRONT DOOR & WINDOWS  
DOOR MAXIMUM U-FACTOR = 0.77  
WINDOW MAXIMUM U-FACTOR = 0.36

FLOOR PLAN NORTH  
SCALE: 1/4"=1'-0"

AN INTERIOR REMODEL FOR,  
**420 S. WASHINGTON ST.**  
KIMBERLY, WISCONSIN

DATE: OCT. 24, 2024  
ARCH. K. SPERL  
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▲ FOR VILLAGE SITE PLAN REVIEW 12-17-24



**EGRESS PLAN** NORTH  
 SCALE: 3/16"=1'-0"

**AN INTERIOR REMODEL FOR,  
 420 S. WASHINGTON ST.  
 KIMBERLY, WISCONSIN**

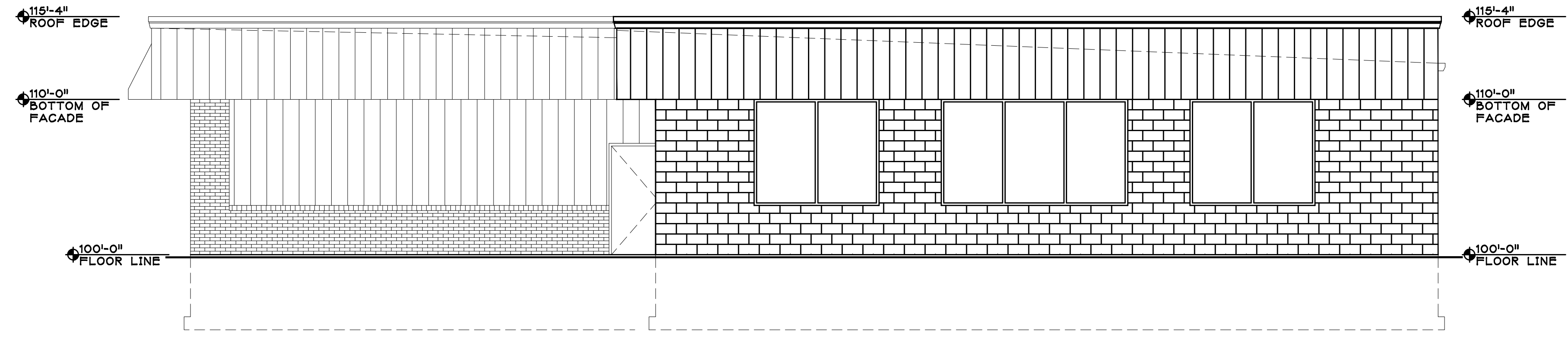
DATE: OCT. 24, 2024  
 ARCH. K. SPERL  
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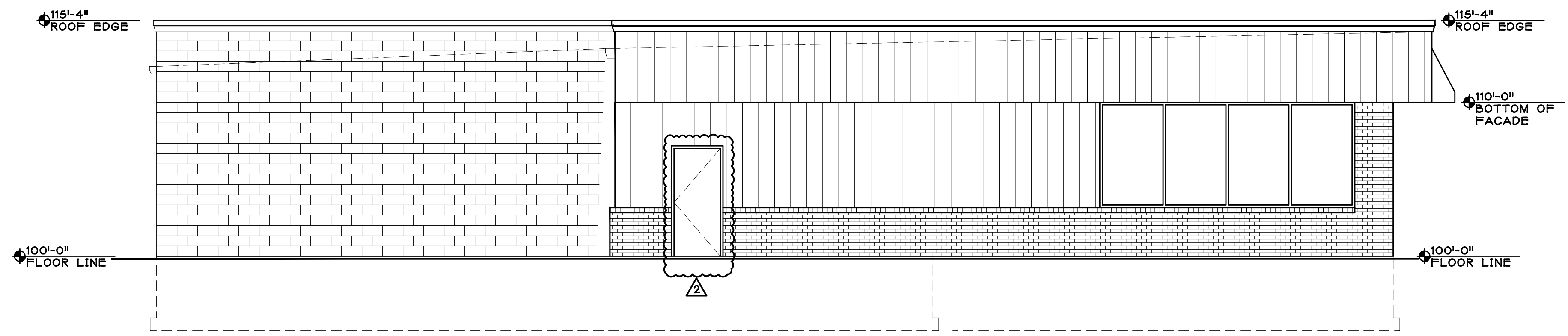
AN INTERIOR REMODEL FOR,  
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 KIMBERLY, WISCONSIN

DATE: OCT. 24, 2024  
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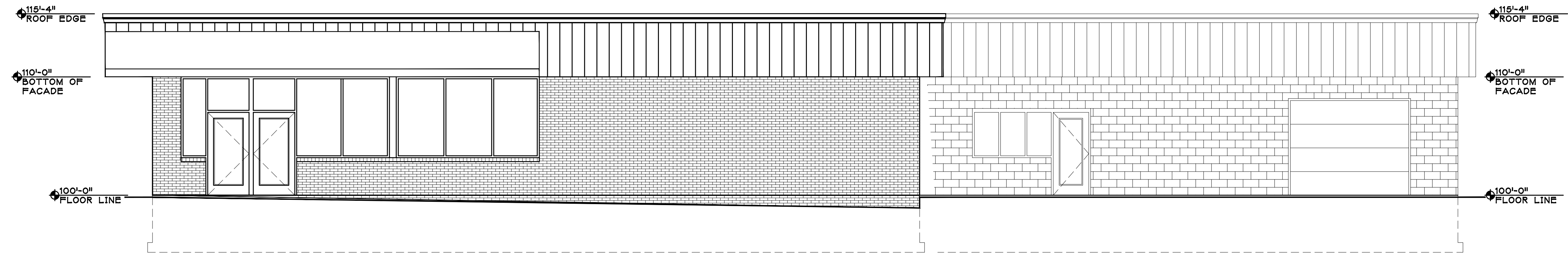
**A**  
**1.2**



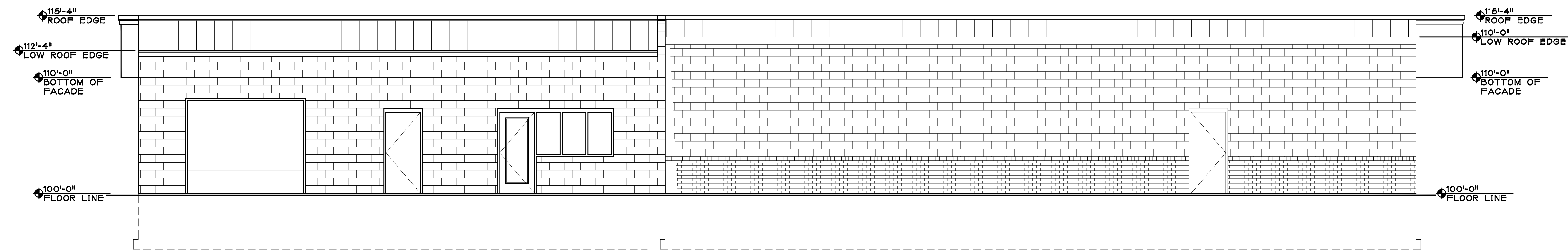
**NORTH ELEVATION**  
 SCALE: 3/16"=1'-0"



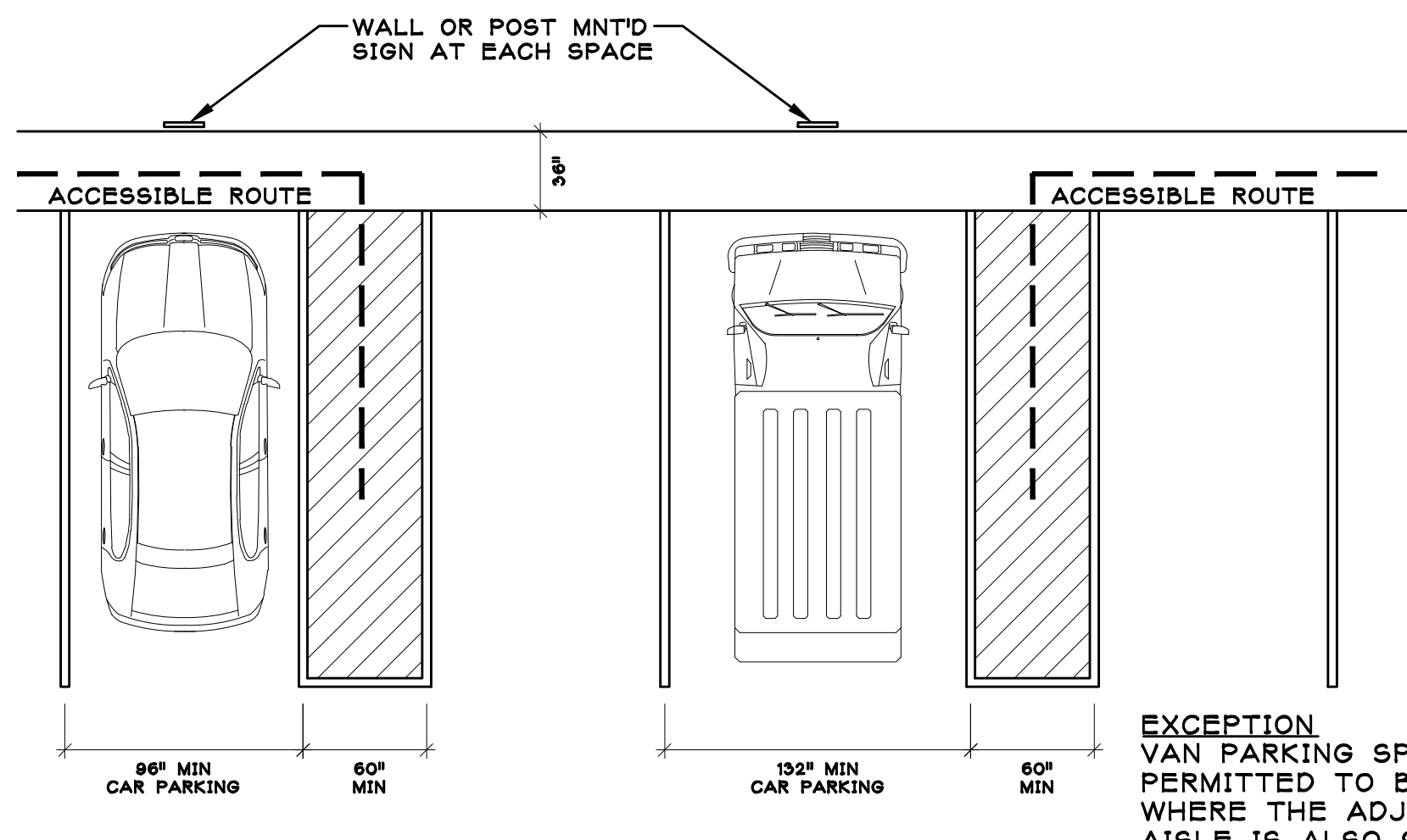
**SOUTH ELEVATION**  
 SCALE: 3/16"=1'-0"



**EAST ELEVATION**  
 SCALE: 3/16"=1'-0"



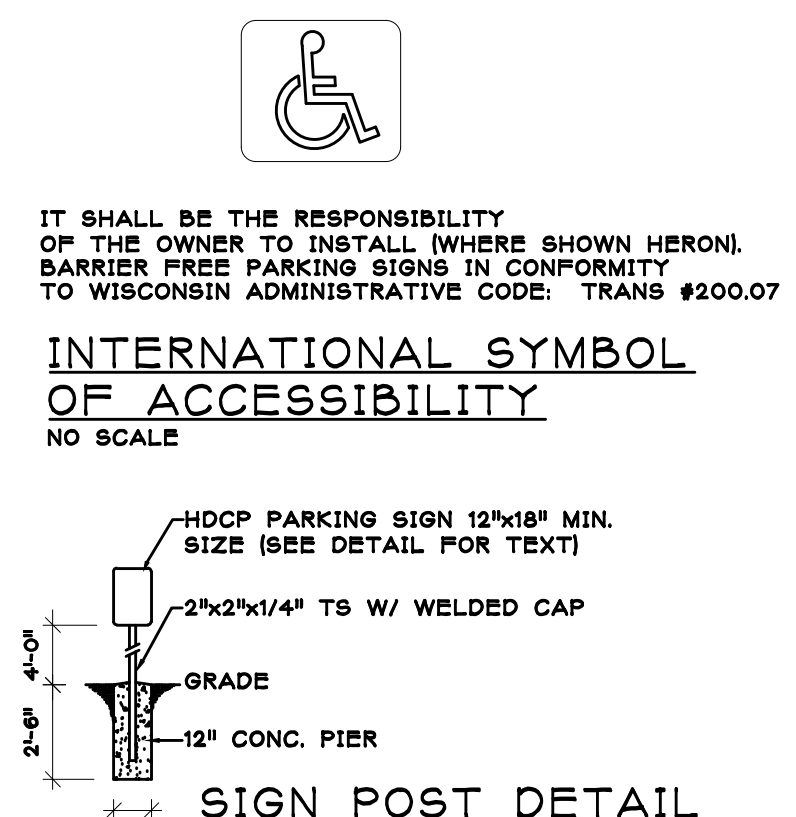
**WEST ELEVATION**  
 SCALE: 3/16"=1'-0"



**VEHICLE PARKING SPACE SIZE & ACCESS AISLE**

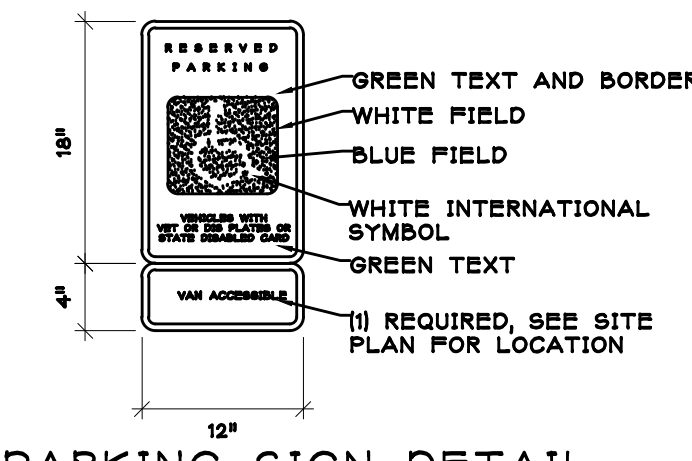
THE MAXIMUM SLOPE AT PARKING SPACES IS 1:50 (4.6.2)

EXCEPTION VAN PARKING SPACE SHALL BE PERMITTED TO BE 96" MIN WIDTH WHERE THE ADJACENT ACCESS AISLE IS ALSO 96" MIN WIDTH



**INTERNATIONAL SYMBOL OF ACCESSIBILITY**

NO SCALE

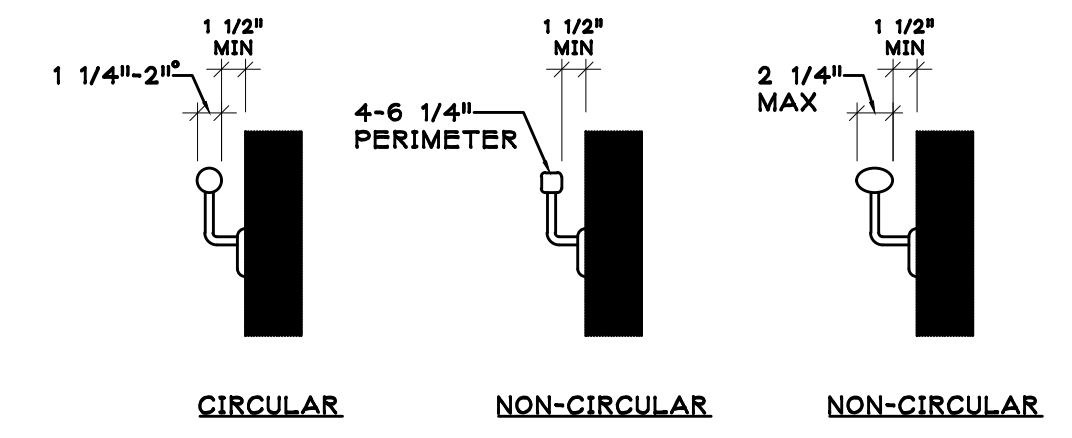
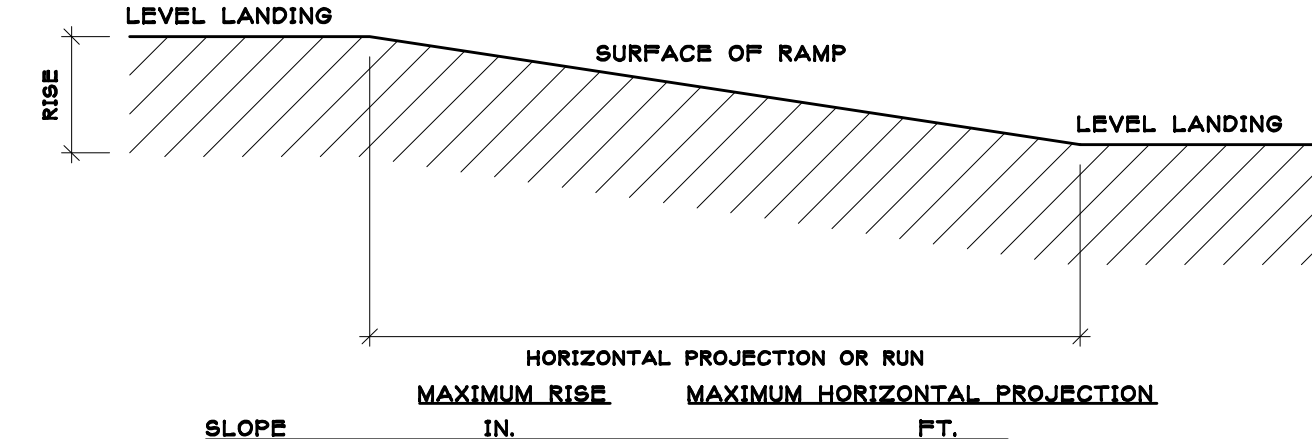


**PARKING SIGN DETAIL**

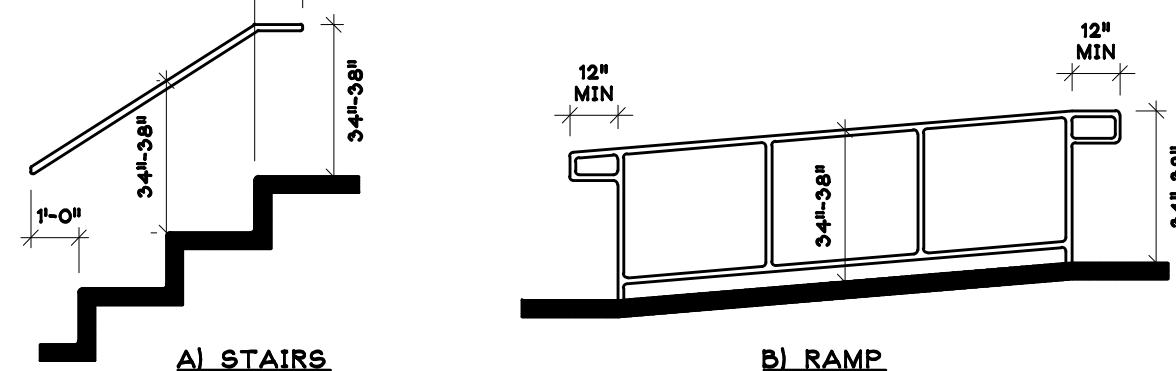
**4.8.1 GENERAL**  
ANY PART OF AN ACCESSIBLE ROUTE WITH A SLOPE GREATER THAN 1:20 SHALL BE CONSIDERED A RAMP AND SHALL COMPLY WITH 4.8.

**4.8.2 SLOPE AND RISE**  
THE LEAST POSSIBLE SLOPE SHALL BE USED FOR ANY RAMP. THE MAXIMUM SLOPE OF A RAMP IN NEW CONSTRUCTION SHALL BE 1:12. THE MAXIMUM RISE FOR ANY RUN SHALL BE 30" (SEE FIGURE 16). CURB RAMPS AND RAMPS TO BE CONSTRUCTED ON EXISTING SITES OR IN EXISTING BUILDINGS OF FACILITIES MUST HAVE SLOPES AND RISES AS ALLOWED IN 4.1.6(3)(A). IF SPACE LIMITATIONS PROHIBIT THE USE OF A 1:12 SLOPE OR LESS.

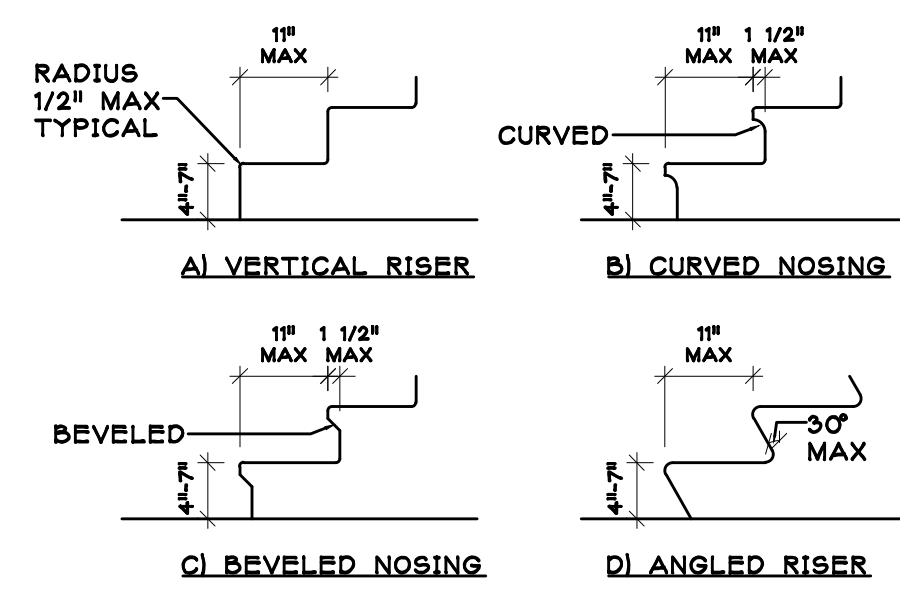
**SINGLE RAMP RUN**  
SCALE: 1/4" = 1'-0"



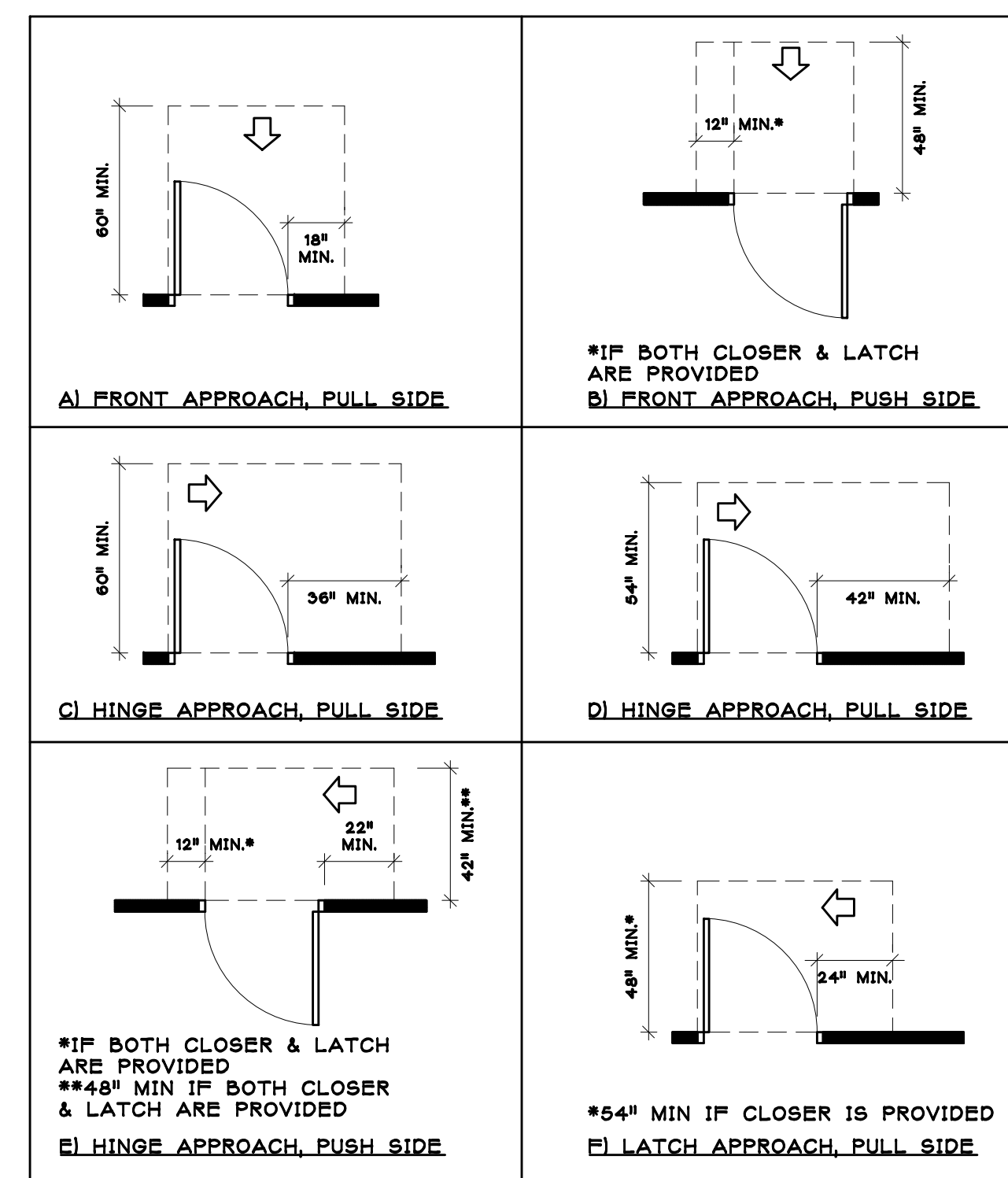
**HANDRAIL SECTIONS**



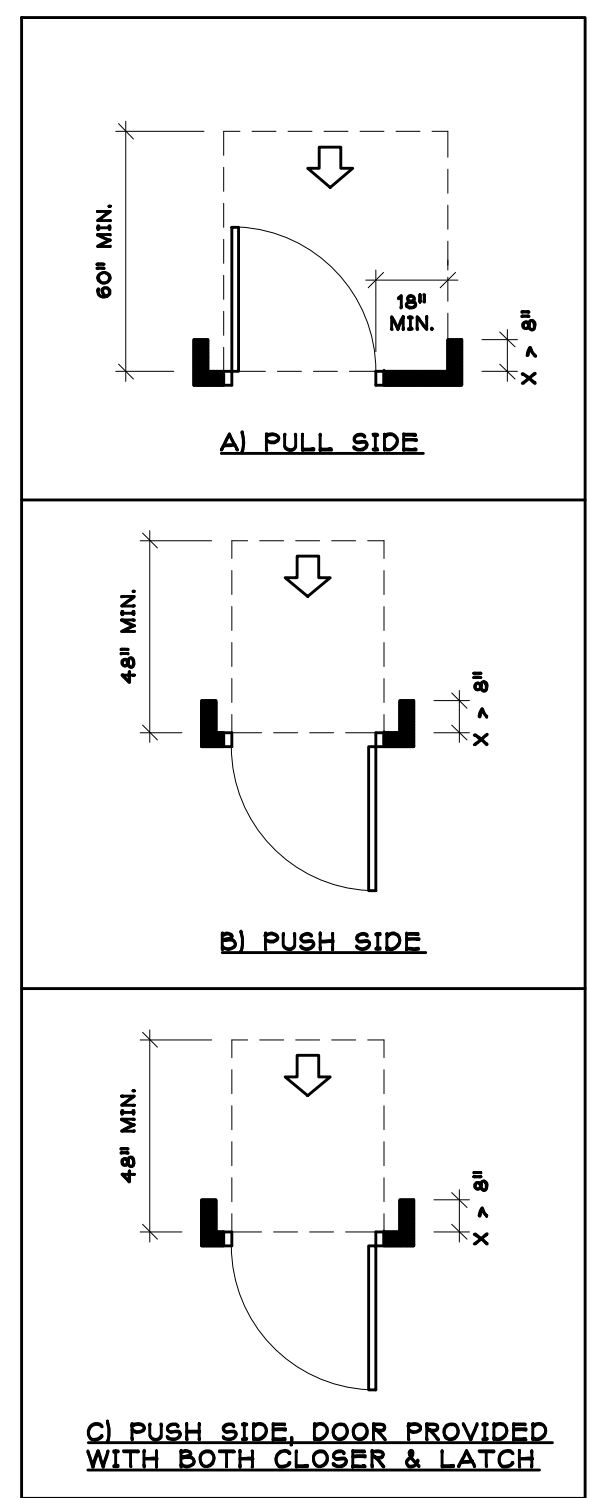
**HANDRAIL EXTENSION & HEIGHTS**



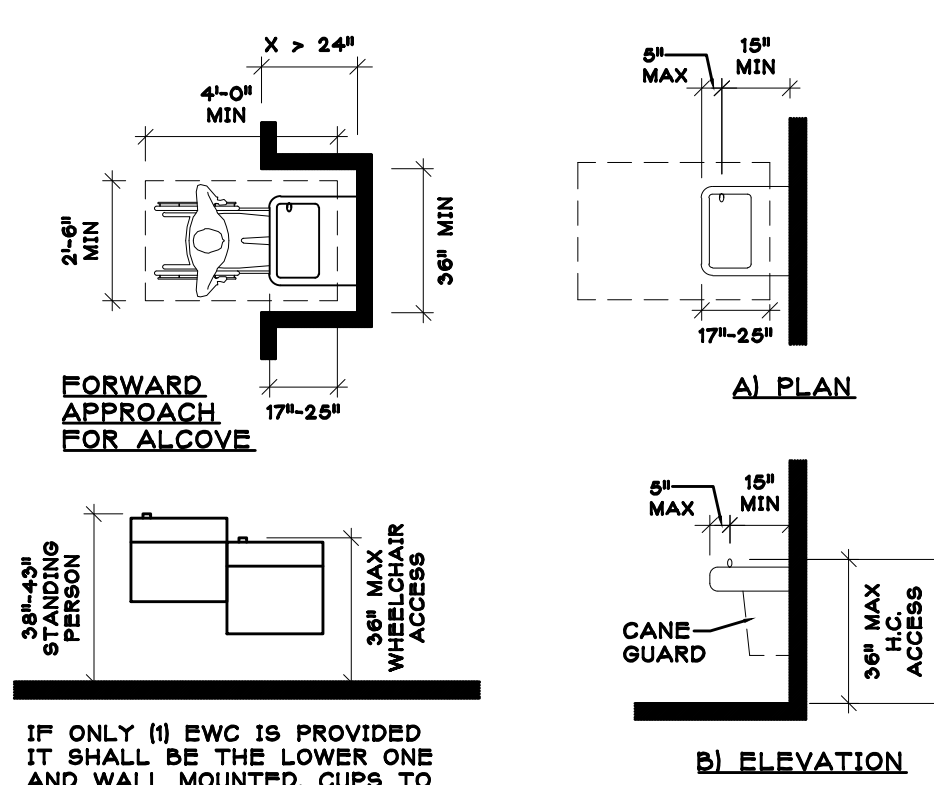
**TREADS/RISERS & STAIR NOSINGS**



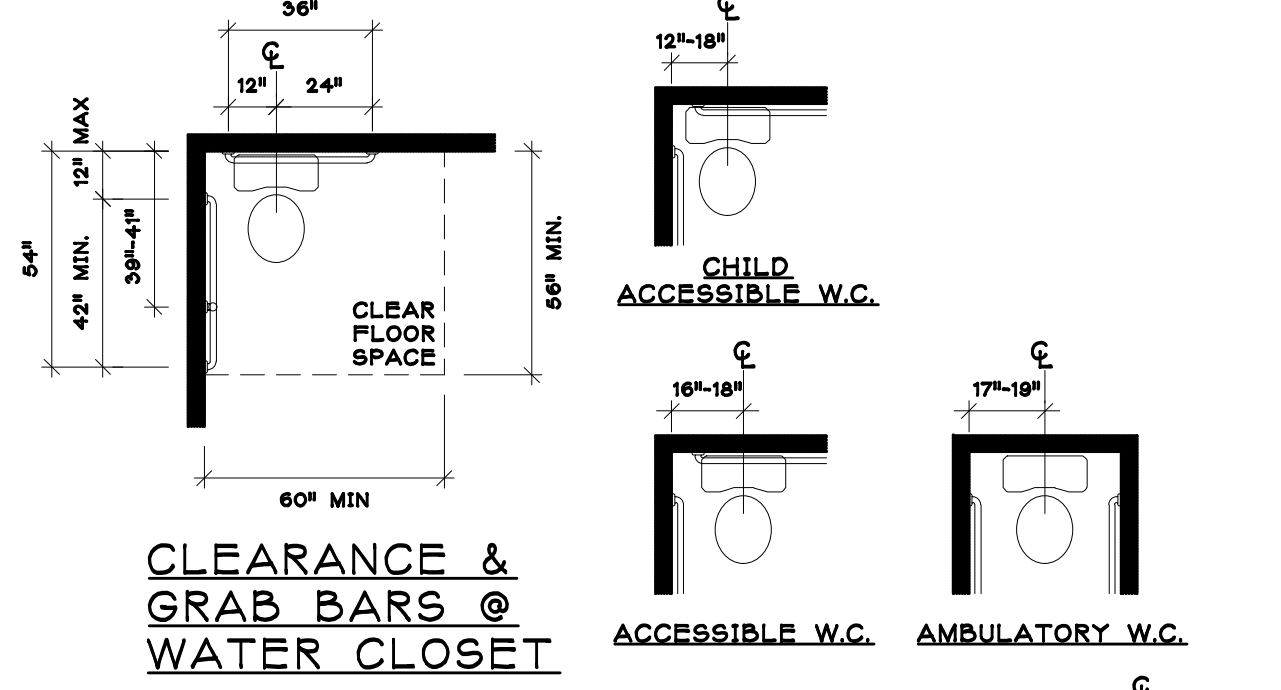
**DOOR APPROACHES**



**CLEARANCE AT RECESSED DOORS**

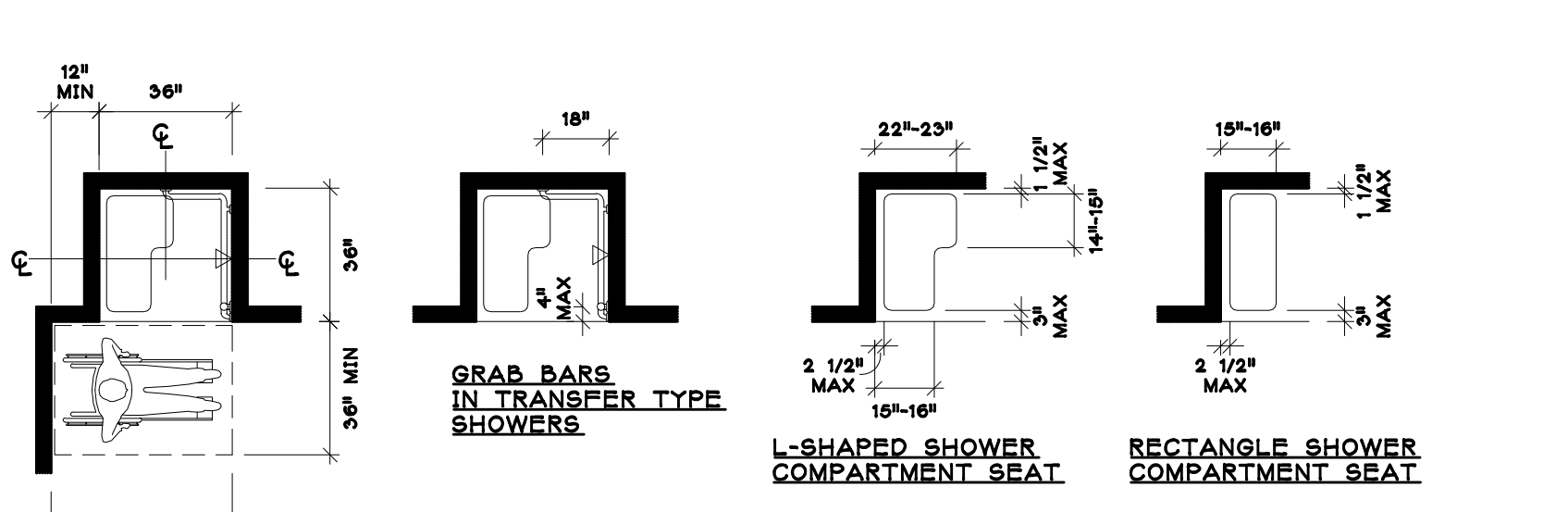


**ELECTRIC WATER COOLER CLEAR SPACE**



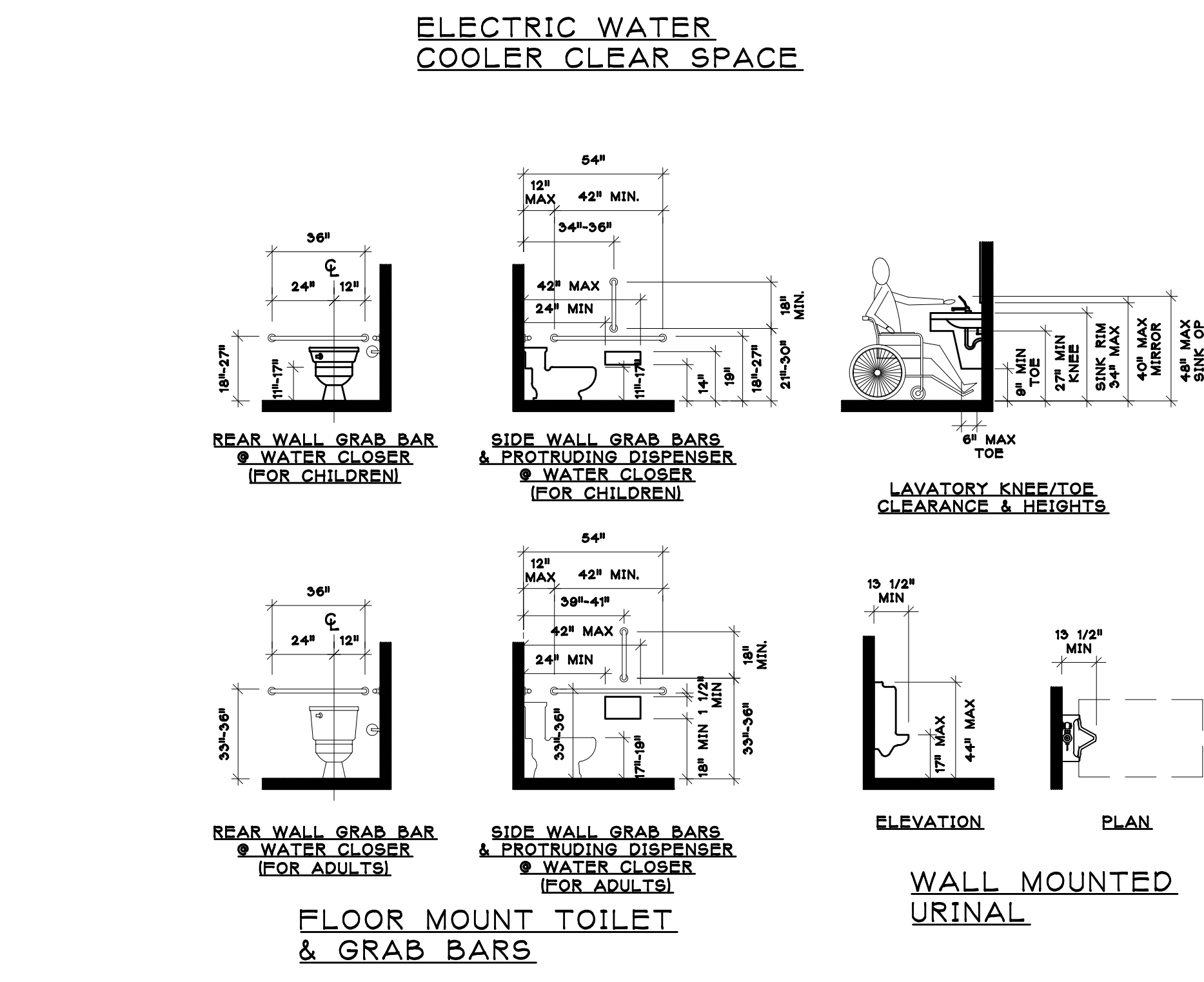
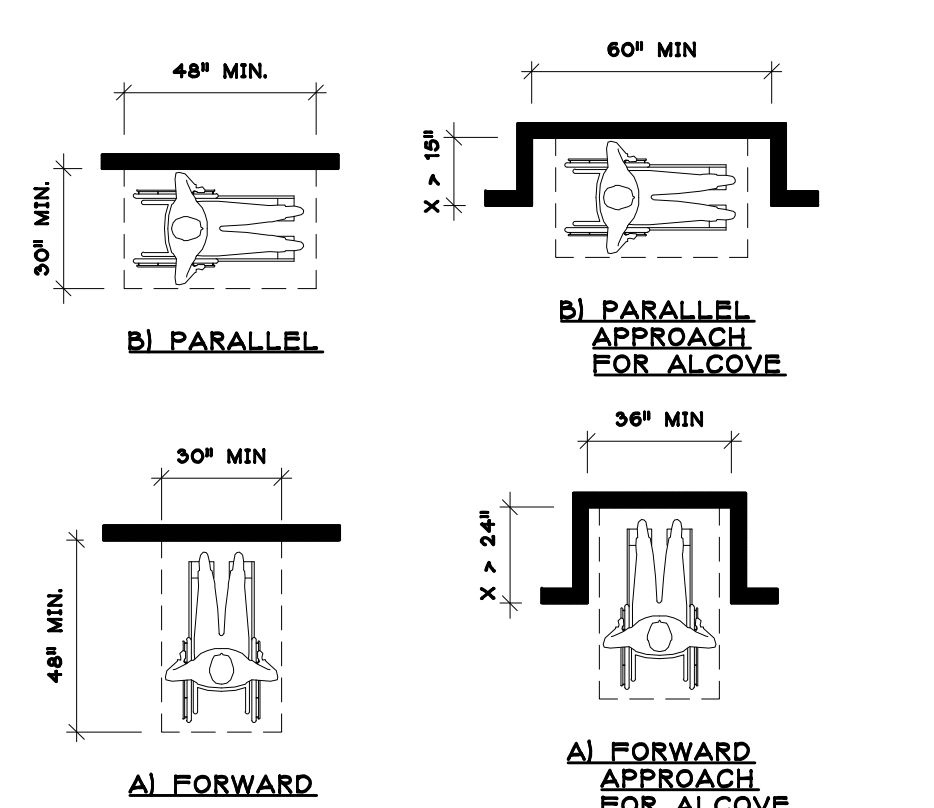
**CLEARANCE & GRAB BARS @ WATER CLOSET**

**CLEARANCE AT MANUAL SWING DOORS**



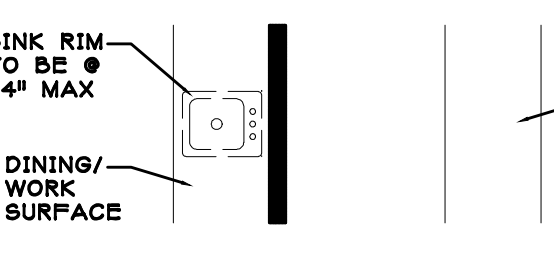
**TRANSFER TYPE SHOWER**

**LIMIT OF PROTRUDING OBJECTS**

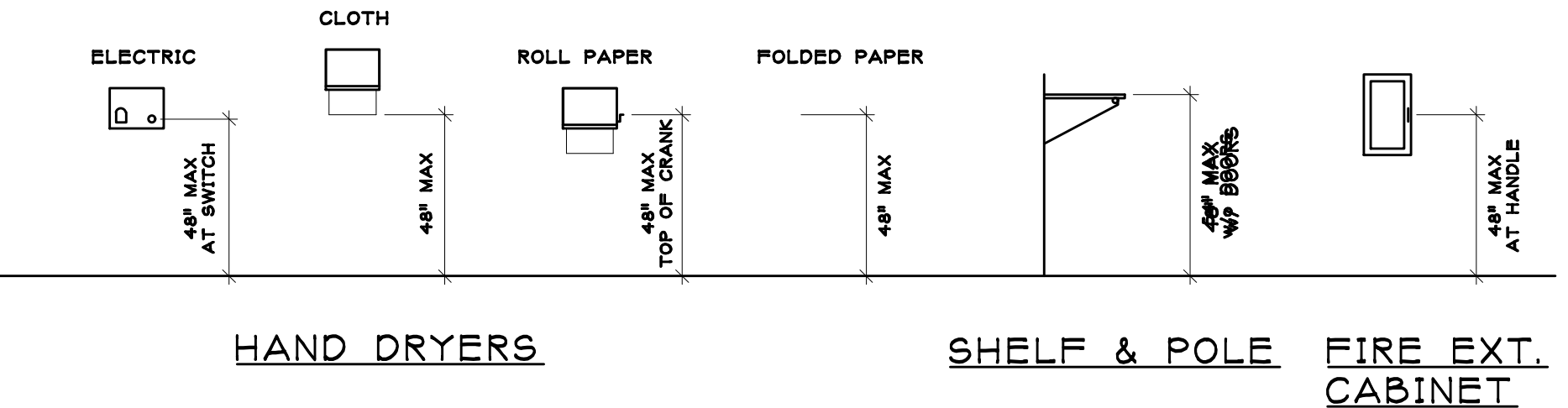
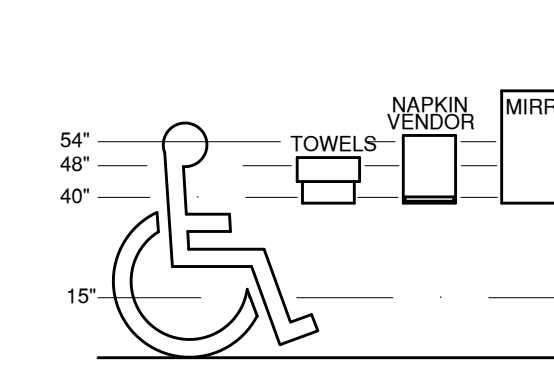


**FLOOR MOUNT TOILET & GRAB BARS**

**KNEE & TOE CLEARANCES**



**SURFACE HEIGHTS**

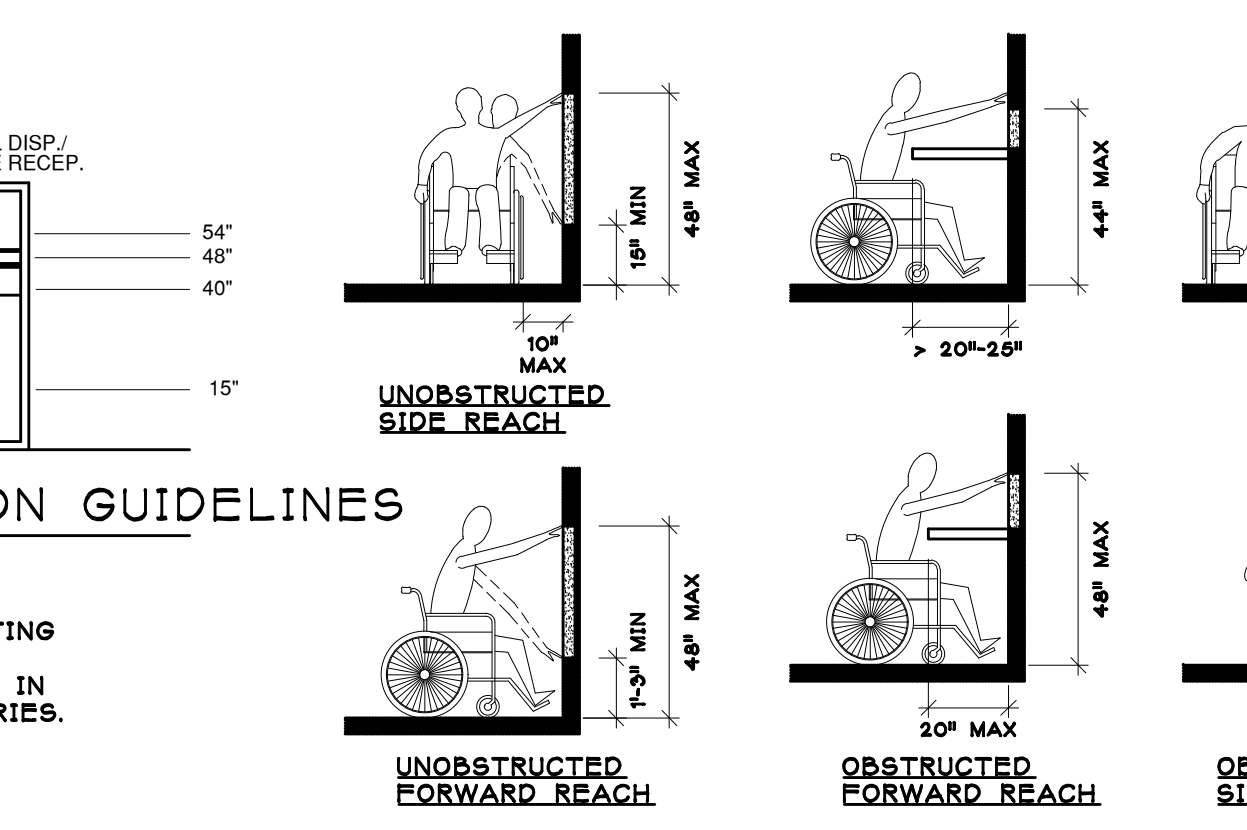


**HAND DRYERS**

**SHELF & POLE**

**FIRE EXT. CABINET**

**WHEELCHAIR ACCESSIBLE TOILET COMPARTMENTS**



**TURNING SPACES**

**CLEAR FLOOR SPACE POSITIONS**

**CLEAR FLOOR SPACE POSITIONS**

**ACS**  
Architectural Construction Services, Inc.

327 RANDOLPH DRIVE - SUITE C  
APPLETON, WI 54913  
TELE: 920-707-4226 FAX: 920-240-8072

AN INTERIOR REMODEL FOR,  
**420 S. WASHINGTON ST.**  
KIMBERLY, WISCONSIN

DATE: OCT. 24, 2024  
ARCH. K. SPERL  
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REVISIONS  
ADDED A1.2 EXT. ELEVATIONS 11-12-24  
FOR VILLAGE SITE PLAN REVIEW 12-17-24

**A 2.0**



**From:** [Brad Werner](#)  
**To:** [Sam Schroeder](#)  
**Cc:** [Danielle Block](#); [Anna Huber](#); [Jerry Versteegen](#)  
**Subject:** Review Comments for 420 S Washington St Redevelopment  
**Date:** Friday, December 6, 2024 11:05:38 AM  
**Attachments:** [image001.gif](#)  
[420 S WASHINGTON REVIEW.pdf](#)  
[CL GIS Mapping Washington St.pdf](#)

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Hi Sam,

As this is primarily and interior remodeling I have limited comments.

1. With the CSM recorded and the transfer of property from US Venture to the new owners were the appropriate ERU modifications to both the original Venture property and the new CSM completed for billing? I included a quick markup of the Utility form with the ERU's to be removed from the original Venture billing and the new billing for 420 S Washington, assuming they install the green space along the right of way. The developer should completely fill out the form and submit it to the village.
2. I am working with the water department to determine the location of the water service for the parcel. The public watermain is on an easement thru this and Venture's remaining property. The location of the watermain is not exactly known as it is not able to be traced. This main was installed before my time (pre 1989). I do know that the water superintendent at the time did not want trace wire placed on plastic main, so there is no way to field locate it now. I do have some old drawings prepared in the early 2000's when Venture did an addition in this area. These drawings indicate that the watermain exists under the old carwash that is a part of 420 S Washington. Once the water department has fully investigated we can review this further. Not sure if there is anything we want to address with this situation now other than to make sure the public watermain easement is shown correctly on the newly approved CSM.
3. Sanitary is served off of the Combined Locks 8 inch sanitary line on the east side of Washington St. It may be a good idea to require televising this line to determine if it is in compliance with our ordinance as a change in ownership and use may be a good trigger to make sure all is up to current code. There was a building in this location in 1957. It appears that the current building went in between 1980 and 1992. Not sure if they used the original sanitary line or installed a new one. If a full new line was installed at the time the Express Station was built, there is a good chance it is in compliance to at least the road right of way.
4. I would concur with your recommendations on driveway access to the site.

Let me know if you have any questions.

Thanks,  
Brad

## **Brad D. Werner, P.E.**

Vice President / Sr Municipal Engineer



1445 McMahon Dr | Neenah, WI 54956

O:920.751.4200 x225 | C:920.858.6072

[website](#) | [facebook](#) | [linkedin](#) | [instagram](#)

### **Confidentiality Statement**

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To: Village Board of Trustees  
From: Daniel M. Meister – Chief of Police  
Date: January 2, 2025  
Re: Fox Valley Metro Police Department  
Monthly Report – January 2025

---

## **New and Noteworthy**

### **PERSONNEL**

We have two new officers who started with us on January 2<sup>nd</sup>.

Devan McCready is a former public-school educator and is just starting her career in law enforcement. On January 3<sup>rd</sup> she will start her training in the basic law enforcement academy at Northeast Wisconsin Technical College. She is expected to graduate in May and then will start the 12-week field training process with us.

Gary Schmackle is a former Metro Officer. After working at the Outagamie County Sheriffs' Office as a deputy for a few years, he is returning to Metro as an officer.

### **TRAINING**

Two officers are attending evidence technician training to supplement our current staff that are trained in this area.

This training will utilize the forensic science crime lab and crime scene resources for basic evidence identification, documentation, collection and preservation skills. Students will apply their training received and process crime scenes from the initial call into the courtroom where they will present their case investigations in a mock courtroom presentation. Students will be able to process crime scenes in the field upon completion of this course. This course will utilize a great number of practical hands-on activities to support training information and applications in the field. This school is

designed for all levels of law enforcement personnel, especially those officers assigned to crime scene responsibilities to include but not limited to investigators/detectives, crime scene personnel, civilian technicians/specialists, coroners and criminal justice/forensic science students. By the end of this training, participants will be able to:

- Understand the history of fingerprints and obtain properly roll inked impressions for AFIS storage and searching protocols
- Search, document, identify, develop, collect and preserve latent fingerprints.
- Understand the basic principles/fundamentals of photography including exposure, filters, various camera/flash and equipment functions.
- Apply appropriate daylight and nighttime photography documentation protocols.
- Document fingerprint, patterns.

## **BUDGET & FINANCE**

Officer Seavey applied for a grant through Unison Credit Union to obtain funds to purchase an IDent Livescan portable fingerprint scanner. We were notified that we have been awarded the \$2,500.00 to make this purchase a reality.



<https://www.idemia.com/ident-20>

## **PATROL & INVESTIGATIONS**

Our two investigators are filling in for PSL Lefeber at Kimberly High School while he is on restricted duty due to a medical condition.

Kudos to Officers Hunter Maulick and Sam Pynenberg and K-9 Rax for drug interdiction efforts on 12/02/24. Officer Maulick performed a traffic stop on a driver who has a revoked driver's license. During the stop he recognized behaviors consistent with concealment efforts such as furtive movements. Officer Maulick quickly discovered a history of drug use and open criminal cases with the driver. Officer Maulick called for Officer Pynenberg and Rax who promptly responded to the

scene for a successful K-9 deployment. The vehicle was searched, illegal drugs were found, and the driver was arrested.

This stop and subsequent K-9 deployment resulted in the seizure of over 16 grams of methamphetamine which was individually packaged for distribution and sale. These particular dangerous drugs are now out of our community. The driver was arrested for Felony Possession of a Controlled Substance with Intent to Distribute Methamphetamine, Possession of Drug Paraphernalia, and Felony Bail Jumping for their open / pending criminal case.

These officers showed impressive teamwork in investigating the stop, the arrest, and the testing/packaging of the seized evidence.

## **FLEET**

We are working to implement a new asset management software program that will assist us in tracking and inventorying department equipment. Initially we will use this program for fleet and squad equipment management but plan to expand this throughout the year.

<https://pstrax.com/>



**PS**  **TRAX**

The logo for PS TRAX, featuring the letters 'PS' in a bold, black, sans-serif font, followed by a red graphic element consisting of three right-pointing chevrons, and the word 'TRAX' in a bold, black, sans-serif font.

Last year the department seized a 2020 Porsche Macan as part of a drug investigation. After completing a significant amount of paperwork with the State of Wisconsin and the Department of Motor Vehicles, this car is now legally ours. We have one year to keep the vehicle after which point we either must keep it and pay a fee that equates to percentage of the vehicle's value to the State or sell it and pay a percentage of the proceeds to the State. In the interim, we plan to use it as an administrative vehicle.



### **SPECIAL EVENTS / COMMUNITY OUTREACH**

The Police Lights of Christmas hand off event was on December 3<sup>rd</sup> in Green Bay. Through this program, our department has been given over twenty care bags and \$3,500.00 worth of gift cards for various businesses to help people in need that we encounter.



Chief Meister and Police Clerk Armbruster with Santa at the handoff event



<https://lightsofchristmas.us/>

The Lights of Christmas Program also supports our officers during tough times. Through their Officer In Need of Kindness program (OINK) they have funds available to support officers and their families who may be experiencing personal difficulty. Scheels recently donated \$10,000.00 to this program. Chief Meister was fortunate to be able to attend the donation presentation with Katie Connell and officers from other departments.

### **Monthly Activity**

Below is a three-month comparison of calls for service in the Village of Kimberly.





# FOX VALLEY METRO POLICE DEPARTMENT

Month-to-Date CAD Call Detail

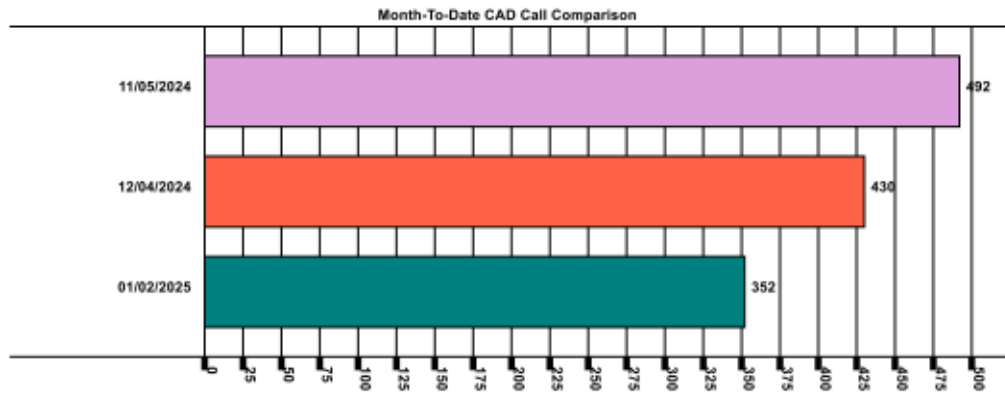
## Month-To-Date CAD Received Calls

Call Nature	12/05/2024	11/06/2024	1 mo %	10/08/2024	2 mo %
	to 01/02/2025:	to 12/04/2024:	change:	to 11/05/2024:	change:
911 Misdiagnose	16	25	-36.0%	20	-20.0%
Abandoned Vehicle	1	1	0.0%	2	-50.0%
Abdominal C-Charlie Response	0	1	-100.0%	1	-100.0%
Accident in a Parking Lot	2	4	-50.0%	6	-66.7%
Accident with Spill Cleanup	0	1	-100.0%	0	N/A
Animal Bite	4	0	N/A	1	300.0%
Animal Call	7	10	-30.0%	10	-30.0%
Assist Citizen or Agency	31	23	34.8%	23	34.8%
Back Problem A-Adam Response	0	0	N/A	1	-100.0%
Bicycle Stop	1	1	0.0%	4	-75.0%
Breathing Problem C-Charles	0	0	N/A	1	-100.0%
Breathing Problem D David	5	3	66.7%	3	66.7%
Burglary	1	2	-50.0%	0	N/A
Business Check	0	3	-100.0%	2	-100.0%
Carbon Monoxide Alarm	1	1	0.0%	2	-50.0%
Chest Complaint C-Charles	3	0	N/A	0	N/A
Chest Complaint D-David	5	1	400.0%	2	150.0%
Choking D-David Response	1	0	N/A	0	N/A
Civil Matter Assist	0	1	-100.0%	0	N/A
Civil Process	3	0	N/A	8	-62.5%
Crime Prevention	11	12	-8.3%	21	-47.6%
Damage to Property	1	0	N/A	2	-50.0%
Diabetic Issue A-Adam	0	1	-100.0%	0	N/A
Diabetic Issue C-Charles	0	2	-100.0%	1	-100.0%
Disturbance	7	6	16.7%	9	-22.2%
Domestic Disturbance	1	1	0.0%	2	-50.0%
Drug Complaint	2	2	0.0%	0	N/A
Emergency Committal	0	1	-100.0%	0	N/A
Fainting A-Adam	1	1	0.0%	2	-50.0%
Fainting C-Charles	2	0	N/A	1	100.0%
Falls A-Adam Response	0	0	N/A	2	-100.0%



Falls B-Boy Response	1	1	0.0%	0	N/A
Falls D-David Response	0	1	-100.0%	0	N/A
Fire Alarm Commercial	2	3	-33.3%	7	-71.4%
Fire Oversized/Commercial Veh	0	0	N/A	1	-100.0%
Follow Up	13	14	-7.1%	20	-35.0%
Fraud Complaint	4	0	N/A	5	-20.0%
Harassment	3	3	0.0%	3	0.0%
Hazard in Roadway	3	3	0.0%	1	200.0%
Headache C-Charles Response	0	1	-100.0%	0	N/A
Heart Problem C-Charles	0	0	N/A	1	-100.0%
Heart Problem D-David	0	0	N/A	1	-100.0%
Jail GPS Checks	1	11	-90.9%	4	-75.0%
Juvenile Complaint	2	4	-50.0%	5	-60.0%
K9 Assist	0	0	N/A	1	-100.0%
Law Alarms - Burglary Panic	9	6	50.0%	9	0.0%
Lost or Found Valuables	1	4	-75.0%	7	-85.7%
Medical Assistance No Injury	3	4	-25.0%	3	0.0%
Medical Pre-Alert	7	8	-12.5%	6	16.7%
Missing Person	0	0	N/A	2	-100.0%
Motorist Assist	6	4	50.0%	2	200.0%
Noise Complaint	2	1	100.0%	6	-66.7%
Ordinance Violation	8	26	-69.2%	30	-73.3%
Overdose D-David	0	0	N/A	1	-100.0%
PNB B-Boy Response	0	1	-100.0%	0	N/A
PNB E-Edward Response	4	0	N/A	0	N/A
Parking Enforcement	5	9	-44.4%	22	-77.3%
Parking Request	1	0	N/A	0	N/A
Reckless Driving Complaint	1	6	-83.3%	5	-80.0%
Residence Lockout	1	1	0.0%	0	N/A
Restraining Order Tracking	0	0	N/A	2	-100.0%
Retail Theft	1	0	N/A	0	N/A
Runaway Juvenile	1	0	N/A	2	-50.0%
Scam	0	0	N/A	1	-100.0%
School Safety	27	40	-32.5%	32	-15.6%
Seizure B-Boy Response	2	0	N/A	0	N/A
Seizure D-David Response	2	1	100.0%	2	0.0%
Sex Offense	1	1	0.0%	3	-66.7%
Sick A-Adam	4	3	33.3%	1	300.0%
Sick C-Charles	1	2	-50.0%	1	0.0%
Sick D-David	0	1	-100.0%	0	N/A
Stroke C-Charles	3	2	50.0%	2	50.0%

Structure Fire Smoke or Flame	1	0	N/A	2	-50.0%
Suspicious Incident	13	6	116.7%	10	30.0%
Suspicious Person	0	4	-100.0%	4	-100.0%
Suspicious Vehicle	1	5	-80.0%	4	-75.0%
Testing Only	0	0	N/A	1	-100.0%
Theft Complaint	5	4	25.0%	2	150.0%
Theft of Automobile Complaint	1	1	0.0%	1	0.0%
Traffic Enforcement	5	15	-66.7%	27	-81.5%
Traffic Stop	60	88	-31.8%	83	-27.7%
Traumatic Injuries A-Adam	0	1	-100.0%	1	-100.0%
Traumatic Injuries B-Boy	1	0	N/A	0	N/A
Trespassing	0	0	N/A	1	-100.0%
Unconscious D-David	2	2	0.0%	2	0.0%
Unknown Odor Outdoors	0	1	-100.0%	0	N/A
Unknown Problem B-Boy	2	0	N/A	0	N/A
Unlocked or Standing Open Door	1	3	-66.7%	3	-66.7%
Vehicle Accident	8	9	-11.1%	9	-11.1%
Vehicle Lockout	0	1	-100.0%	2	-100.0%
Violation of Court Order	1	2	-50.0%	3	-66.7%
Wanted Person or Apprehension	0	0	N/A	1	-100.0%
Weapon Violation	0	1	-100.0%	0	N/A
Welfare Check	25	23	8.7%	22	13.6%
Wire Down	1	0	N/A	0	N/A



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# Department Report

To: Village Board  
From: Danielle Block | Administrator/Director of Public Works  
Date: January 2025  
Re: Administrator's Report

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## DECEMBER HIGHLIGHTS

- Completed the 2025 Budget Binders. Will be distributed in January.
- Received Proposals for a Water Rate Study with the PSC.
- Issued a Request for Proposals for Audit Services.
- Issued a Request for Quotes for update phone services and phones for Village Hall Complex and Street/Parks Facilities.
- Worked with the Kimberly Fire Department on latest recruitment. Prepared the Pre-valuation paperwork for the Length of Service Award Program.

## TOP PRIORITIES FOR JANUARY

- Analysis of year-end expenditures and project carryovers.
- Coordination with Kerber-Rose on preparation for 2024 Audit.
- Review and recommend a consultant for Water Rate Study.
- Review and recommend a consultant for Audit Services.
- Review and analyze phone services project scope and summary.
- Planning for the 2025 Capital Projects.
- Work with Civic Systems on Timesheet and Time Accounting Software solutions.
- Complete the Rating Call with Baird for the upcoming Village 2025 Bond Issuance.

## UPCOMING EVENTS

- Upcoming adjustment of Village Hall/Street Park Facility office hours.
- CVMIC 2025 Organizational Planning – trainings, events, reviews.



# Department Report

To: Village Board  
From: Danielle Block | Administrator/Director of Public Works  
Date: January 2025  
Re: Public Works Monthly Report

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## DECEMBER HIGHLIGHTS

- Started initial rounds of snow and ice removal.
- Completed the installation of 2024 Rapid Flashing Pedestrian Beacons at selected locations.
- Continued work at the Street & Parks Facility. Foundations, soil remediation and site work continue.
- Completed the Kennedy Avenue drain tile installation project.
- Nearing completion of the sanitary manhole rehabilitation project, carryover work from previous years.
- Assisted with installation and maintenance of winter decorations.
- Reviewed and updated the Complex Rental Facilities Agreement and workflow.
- Met with McMahon to discuss GIS capabilities and workflows.

## TOP PRIORITIES FOR JANUARY

- Implement the new On-Call Policy and begin the rotation.
- Winter tree removal and stump grinding.
- Refine the Phase 2 estimate for the Street & Parks Facility.
- Implement Complex Room Rental agreements and policies. Update the reservation procedures.
- Respond to ice and snow events as needed.

## UPCOMING EVENTS

- Winter Weather Response
- CVMIC Training and Safety Event Planning for 2025

December Solid Waste Summary

DATE	Ticket #	TRUCK	Automated Garbage Weight	BUSINESS & PARKS Dumpster Collection Weight	Large Item Collection Weight	Sweepings Weight	Yard Waste Weight	Street Parks Facility Contaminated Weight	COST	Total Cost
12/30/24	951002		\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 1,144.64	\$ 1,144.64
12/30/24	951048		\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 2,295.28	\$ 2,295.28
12/30/24	951053		\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 1,068.48	\$ 1,068.48
12/30/24	951028		\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 1,377.04	\$ 1,377.04
12/30/24	951048		\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 1,368.64	\$ 1,368.64
12/30/24	951059		\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 1,362.40	\$ 1,362.40
12/30/24	951113		\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 1,368.80	\$ 1,368.80
12/30/24	951428		\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 1,381.52	\$ 1,381.52
12/30/24	951469		\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 1,352.72	\$ 1,352.72
12/30/24	951477		\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 1,364.24	\$ 1,364.24
12/30/24	951519		\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 1,471.68	\$ 1,471.68
12/30/24	951535		\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 1,387.88	\$ 1,387.88
12/30/24	951562		\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 1,191.12	\$ 1,191.12
12/30/24	951575		\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 1,349.80	\$ 1,349.80
12/30/24	951652		\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 1,344.88	\$ 1,344.88
12/30/24	951659		\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 1,149.68	\$ 1,149.68
12/30/24	951703		\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 1,372.56	\$ 1,372.56
12/30/24	951708		\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 1,141.28	\$ 1,141.28
12/30/24	951725		\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 1,252.16	\$ 1,252.16
12/30/24	951741		\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 1,320.48	\$ 1,320.48
12/30/24	951745		\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 1,362.80	\$ 1,362.80
12/30/24	951759		\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 1,263.92	\$ 1,263.92
12/30/24	951770		\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 1,270.08	\$ 1,270.08
12/30/24	951790		\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 1,243.20	\$ 1,243.20
12/30/24	951799		\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 1,424.08	\$ 1,424.08
12/30/24	951798		\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 821.04	\$ 821.04
12/30/24	951818		\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 1,409.52	\$ 1,409.52
12/30/24	951828		\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 1,144.08	\$ 1,144.08
12/30/24	951840		\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 1,259.44	\$ 1,259.44
12/30/24	951843		\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 1,468.32	\$ 1,468.32
12/30/24	951881	48	880	\$ 23.75	\$ -	\$ -	\$ -	\$ -	\$ 80.00	\$ 23.75
12/30/24	951888		\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 1,153.60	\$ 1,153.60
12/30/24	951888		\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 1,213.28	\$ 1,213.28
12/30/24	951900		\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 1,151.12	\$ 1,151.12
12/30/24	951918		\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 839.72	\$ 839.72
12/30/24	951919		\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 1,301.44	\$ 1,301.44
12/30/24	951939		\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 1,314.88	\$ 1,314.88
12/30/24	951959		\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 1,420.28	\$ 1,420.28
12/30/24	951971		\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 1,198.44	\$ 1,198.44
12/30/24	951980		\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 1,405.04	\$ 1,405.04
12/30/24	951991		\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 1,468.88	\$ 1,468.88
12/30/24	952023		\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 1,388.00	\$ 1,388.00
12/30/24	952027		\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 1,304.80	\$ 1,304.80
12/30/24	952032		\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 1,367.52	\$ 1,367.52
12/30/24	952038		\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 1,240.40	\$ 1,240.40
12/30/24	952044	C8	1040	\$ 281.34	\$ -	\$ -	\$ -	\$ -	\$ 80.00	\$ 281.34
12/30/24	952136		\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 1,088.64	\$ 1,088.64
12/30/24	952140		\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 1,153.68	\$ 1,153.68
12/30/24	952168		\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 1,362.48	\$ 1,362.48
12/30/24	952207		\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 1,368.00	\$ 1,368.00
12/30/24	952217	32	1720	\$ 454.40	\$ -	\$ -	\$ -	\$ -	\$ 80.00	\$ 454.40
12/30/24	952217		\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 1,461.68	\$ 1,461.68
12/30/24	952278		\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 1,420.24	\$ 1,420.24
12/30/24	952272		\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 1,441.44	\$ 1,441.44
12/30/24	952325		\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 1,354.08	\$ 1,354.08
12/30/24	952338		\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 1,458.80	\$ 1,458.80
12/30/24	952363		\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 1,346.82	\$ 1,346.82
12/30/24	952368		\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 1,307.60	\$ 1,307.60
12/30/24	952394	32	1252	\$ 338.04	\$ -	\$ -	\$ -	\$ -	\$ 80.00	\$ 338.04
12/30/24	952402		\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 1,428.88	\$ 1,428.88
12/30/24	952401		\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 1,463.84	\$ 1,463.84
12/30/24	952421		\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 1,398.32	\$ 1,398.32
12/30/24	952433		\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 1,131.76	\$ 1,131.76
12/30/24	952435		\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 1,343.44	\$ 1,343.44
12/30/24	952454		\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 1,267.84	\$ 1,267.84
12/30/24	952458		\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 1,344.56	\$ 1,344.56
12/30/24	952455		\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 1,347.92	\$ 1,347.92
12/30/24	952507		\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 1,522.08	\$ 1,522.08
12/30/24	952562		\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 1,328.88	\$ 1,328.88
12/30/24	952583		\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 1,636.32	\$ 1,636.32
12/30/24	952590		\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 1,372.56	\$ 1,372.56
12/30/24	952614		\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 1,573.84	\$ 1,573.84
12/30/24	952625		\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 1,407.84	\$ 1,407.84
12/30/24	952628	32	1708	\$ 461.16	\$ -	\$ -	\$ -	\$ -	\$ 80.00	\$ 461.16
12/30/24	952629		\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 1,453.72	\$ 1,453.72
12/30/24	952652		\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 1,336.72	\$ 1,336.72
12/30/24	952678		\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 1,521.60	\$ 1,521.60
12/30/24	952681		\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 1,304.80	\$ 1,304.80
12/30/24	952709		\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 1,433.04	\$ 1,433.04
12/30/24	952710		\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 1,389.12	\$ 1,389.12
12/30/24	952732		\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 1,523.20	\$ 1,523.20
12/30/24	952736		\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 1,367.52	\$ 1,367.52
12/30/24	952739	32	830	\$ 224.16	\$ -	\$ -	\$ -	\$ -	\$ 80.00	\$ 224.16
12/30/24	952766		\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 1,678.32	\$ 1,678.32
12/30/24	952763		\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 1,332.80	\$ 1,332.80
12/30/24	952778		\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 1,578.08	\$ 1,578.08
12/30/24	952782		\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 1,411.20	\$ 1,411.20
12/30/24	952836		\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 1,314.88	\$ 1,314.88
12/30/24	952858		\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 1,428.00	\$ 1,428.00
12/30/24	952881	38	1408	\$ 378.64	\$ -	\$ -	\$ -	\$ -	\$ 80.00	\$ 378.64
12/30/24	952892		\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 1,566.88	\$ 1,566.88
12/30/24	952898	38	1408	\$ 378.64	\$ -	\$ -	\$ -	\$ -	\$ 80.00	\$ 378.64
12/30/24	952904		\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 1,245.60	\$ 1,245.60
12/30/24	952934		\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 1,553.44	\$ 1,553.44
12/30/24	952954	38	1408	\$ 378.64	\$ -	\$ -	\$ -	\$ -	\$ 80.00	\$ 378.64
12/30/24	952971		\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 1,621.76	\$ 1,621.76
12/30/24	952986	38	1480	\$ 116.64	\$ -	\$ -	\$ -	\$ -	\$ 80.00	\$ 116.64
12/30/24	953010	38	1408	\$ 378.64	\$ -	\$ -	\$ -	\$ -	\$ 80.00	\$ 378.64
12/30/24	953056		\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 1,587.04	\$ 1,587.04
12/30/24	953087		\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 1,609.20	\$ 1,609.20
12/30/24	953130	38	360	\$ 98.82	\$ -	\$ -	\$ -	\$ -	\$ 80.00	\$ 98.82
12/30/24	953140		\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 1,602.72	\$ 1,602.72
12/30/24	953178		\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 1,406.88	\$ 1,406.88
12/30/24	953232		\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 1,569.12	\$ 1,569.12
12/30/24	953444		\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 1,340.64	\$ 1,340.64
12/30/24	953460		\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 1,323.84	\$ 1,323.84
12/30/24	954083	32	1780	\$ 481.68	\$ -	\$ -	\$ -	\$ -	\$ 80.00	\$ 481.68
12/30/24	954151		\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 1,290.24	\$ 1,290.24
12/30/24	954231		\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 1,287.28	\$ 1,287.28
12/30/24	954380	32	1040	\$ 282.96	\$ -	\$ -	\$ -	\$ -	\$ 80.00	\$ 282.96
12/30/24	954419		\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 1,261.68	\$ 1,261.68
12/30/24	954449		\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 1,368.24	\$ 1,368.24
12/30/24	954500		\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 1,526.00	\$ 1,526.00
12/30/24	954511		\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 1,296.96	\$ 1,296.96
12/30/24	954534	32	1516	\$ 409.32	\$ -	\$ -	\$ -	\$ -	\$ 80.00	\$ 409.32
12/30/24	954578		\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 1,385.44	\$ 1,385.44
12/30/24	954721	32	1160	\$ 297.84	\$ -	\$ -	\$ -	\$ -	\$ 80.00	\$ 297.84
12/30/24	954871	32	1408	\$ 378.64	\$ -	\$ -	\$ -	\$ -	\$ 80.00	\$ 378.64
12/30/24	955000	32	650	\$ 178.20	\$ -	\$ -	\$ -	\$ -	\$ 80.00	\$ 178.20
12/30/24	955047		\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 1,275.68	\$ 1,275.68
12/30/24	955060		\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 1,384.72	\$ 1,384.72
12/30/24	955090		\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 1,358.56	\$ 1,358.56
12/30/24	955110		\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 1,394.72	\$ 1,394.72
12/30/24	955095		\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 1,409.52	\$ 1,409.52
12/30/24	955094		\$ -	\$ -	\$ -					



# Department Report

To: Village Board  
From: Sam Schroeder | Community Development Director  
Date: January 2025  
Re: Community Development Report

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## DECEMBER HIGHLIGHTS

- Received Final Closeout Letter for WEDC IDLE Sites Grant 24879 – The Cedars Demolition and Infrastructure.
- Amended the Kimberly Industrial Park Protective Covenants and Plat to support economic growth in the community.
- Prepared development concepts and site plan reviews for Plan Commission – projects included site plan reviews for Who’s the Man BBQ and Rebman Plumbing Expansion.
- Executed service contract with E-Plan Exam for commercial plan review, updated the building and fire codes, and executed necessary documentation to become a delegated community for both plan review and inspections.
- Commenced BRE (Business, Retention and Expansion) visits to understand the health, constraints and future needs of our business community.
- Develop the Community Development Department Webpage
- Redeveloped real estate cutsheets for Village owned parcels.
- Staff planning and purchase negotiations regarding 442 N Main Street, Specialty Mineral Site, for future redevelopment contingent upon environmental assessment and future board approval.
- Awarded an environmental assessment through the Calumet County Coalition EPA Brownfield Coalition Assessment Grant for a Phase 1 of 442 N Main Street.

## TOP PRIORITIES FOR JANUARY

- Continue to work with new Building Inspection Services contractor MSA. Develop and improve processes and procedures.
- Launch E-Plan Exam Commercial Plan Review and delegated commercial building inspections
- Continue BRE (Business, Retention and Expansion) visits to understand the health, constraints and future needs of our business community.
- Revisit status of existing development agreements.
- Explore opportunities for marketing and development of Village-owned or vacant TID properties.

December Building Permit & Fees Report					
Permit Category		Monthly Summary			
Category Prefix	Category Name	Value	Fees Collected Acct 01-44300-00	Number of Permits / Structures	Number Dwelling Units
<b>Residential Building</b>					
100	New Single Family	\$0.00	\$0.00	0	0
110	New Two Family	\$0.00	\$0.00	0	0
120	New Multi-Family	\$0.00	\$0.00	0	0
130	Residential Additions	\$0.00	\$0.00	0	0
140	New Accessory Buildings	\$3,000.00	\$50.00	1	
141	Addn Accessory Bldg	\$0.00	\$0.00	0	
150	Interior Alterations	\$0.00	\$0.00	0	
151	Exterior Alterations	\$0.00	\$0.00	0	
160	Decks/Patios	\$0.00	\$0.00	0	
170	Fences	\$3,000.00	\$50.00	1	
180	In-Ground Pools	\$0.00	\$0.00	0	
181	Above Ground Pools	\$0.00	\$0.00	0	
190	Raze Residential	\$0.00	\$0.00	0	
<b>Sub-Total Residential Building</b>		<b>\$6,000.00</b>	<b>\$100.00</b>	<b>2</b>	<b>0</b>
<b>Commercial &amp; Industrial Building</b>					
200	New Buildings	\$0.00	\$0.00	0	
210	Additions	\$0.00	\$0.00	0	
220	Interior Alterations	\$0.00	\$0.00	0	
221	Exterior Alterations	\$0.00	\$0.00	0	
230	Signs	\$0.00	\$0.00	0	
240	Raze Com'l/Ind	\$0.00	\$0.00	0	
<b>Sub-Total Commercial/Industrial Building</b>		<b>\$0.00</b>	<b>\$0.00</b>	<b>0</b>	
<b>Electric</b>					
300	Residential Services	\$12,000.00	\$404.20	1	
310	Residential Alterations	\$13,000.00	\$275.00	2	
320	Commercial/Industrial Services	\$0.00	\$0.00	0	
321	Commercial/Industrial Alterations	\$0.00	\$0.00	0	
<b>Sub-Total Electric</b>		<b>\$25,000.00</b>	<b>\$679.20</b>	<b>3</b>	
<b>HVAC</b>					
400	Residential Heating	\$7,000.00	\$300.00	2	
401	Residential AC	\$0.00	\$0.00	0	
402	Residential - Both	\$0.00	\$0.00	0	
410	Com'l & Ind Heating	\$0.00	\$0.00	0	
411	Com'l & Ind AC	\$0.00	\$0.00	0	
412	Com'l & Ind - Both	\$15,000.00	\$230.72	1	
420	Other	\$0.00	\$0.00	0	
<b>Sub-Total HVAC</b>		<b>\$22,000.00</b>	<b>\$530.72</b>	<b>3</b>	
<b>Plumbing</b>					
500	Residential Laterals	\$0.00	\$0.00	0	
501	Residential Alterations	\$0.00	\$0.00	0	
510	Com'l & Ind Laterals	\$0.00	\$0.00	0	
511	Com'l & Ind Alterations	\$0.00	\$0.00	0	
512	Other	\$0.00	\$0.00	0	
<b>Sub-Total Plumbing</b>		<b>\$0.00</b>	<b>\$0.00</b>	<b>0</b>	
<b>Permit Totals</b>		<b>\$53,000.00</b>	<b>\$1,309.92</b>	<b>8</b>	<b>0</b>
<b>Miscellaneous Fees</b>			<b>Fees Collected</b>	<b>Number</b>	
UDC Seals			\$0.00	0	
Parkland Dedication Fee			\$0.00	0	
Grade Fee			\$0.00	0	
VoK Sanitary Sewer Connection Fee			\$0.00	0	
HOVMSD Sanitary Sewer Connection Fee			\$0.00	0	
Storm Water - Erosion Control Permits			\$0.00	0	
Admin Fee			\$0.00	0	
Erosion			\$0.00	0	
Storm Sewer Fee			\$0.00	0	
<b>Total Miscellaneous Fees</b>			<b>\$0.00</b>		
<b>Total All Fees</b>			<b>\$1,309.92</b>		



# Department Report

To: Village Board  
From: Holly Femal | Community Enrichment Director  
Date: January 6<sup>th</sup>, 2025  
Re: Community Enrichment Director's Report

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## DECEMBER HIGHLIGHTS

### PARKS

- Christmas at the Pond 2024 was a success. The park continued to light throughout the month providing a quiet holiday stroll.
- The ice rink boards are in the ground – waiting on COLD weather before installing the liner and making ice – it wasn't cold enough in late '23 early '24, we will see what late '24 early '25 brings!
- Colder temps have meant tree work with emphasis on a few key ash trees throughout the parks system.

### RECREATION

- The North Pole sent out around 85 letters this year to children looking for a reply. All letters came complete with some holiday magic – aka glitter. We are sure the parents LOVE it. 😊
- Prep work on the 2025 beach season has begun on reaching out to the 2024 staff and planning for the 2025 hiring process factoring in expanded program opportunities in 2025.
- Prep work for the 2025 baseball season has begun. Program registration is built in our rec software and set to go live January 1<sup>st</sup>, 2025. We will attempt to repeat offerings of 2024 in baseball programming for participants age 3 – 13.
- Babysitting Certification class was held December 26<sup>th</sup>. We are offering new in 2025 classes to teach people pet first aid and CPR pending enough registrations.

### EVENTS AND OUTREACH

- The Special Event Permit Application received a significant overhaul in December. In tandem, village staff met with partners at FVMPD and Village of Little Chute to ensure open communication about proposed changes to the process. We hope to have a polished document for the Village Board's review in late January/early February as event season will soon be upon us. Included in the updates will be revisions to the FVMPD IRP documents.
- The Key Club Giving Tree and Fox Valley Food Pantry giving programs were facilitated and completed.



## **TOP PRIORITIES FOR JANUARY**

- Complete 2024 end of year report to present to Village Board in January
- Begin hiring recruitment for second parks operator – filling a current vacancy.
- Begin working on the 2025 Rec Program guide including event planning and schedule.
- Begin working on 2025 seasonal hiring and recruitment process for rec and beach employment.
- Ice rink construction and Christmas at the Pond take down. Stay tuned for NEW and BRIGHT banners on Kimberly Avenue for “Spring” display!



# Department Report

To: Village Board  
From: Jennifer Weyenberg | Clerk-Treasurer  
Date: January 6, 2025  
Re: Clerk-Treasurer Report

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## DECEMBER HIGHLIGHTS

- Closed out final reconciliation and reporting of the November General Election
- Certified Tax Roll, filed SOT and Tax Increment Worksheet with the Dept. of Revenue
- Began collecting property tax payments mid-December both at the Village Hall and Capital Credit Union (Eisenhower Dr. location)
- Updated employee benefits and wages for upcoming year
- Prepped "Getting on the Ballot" packets for the spring election

## TOP PRIORITIES FOR JANUARY

- File 2% Dues with the State
- Complete Annual Reconciliation for Wisconsin Retirement System
- Process January 15th Tax Settlement
- File Annual Tobacco Report with the state
- Work with Kerber Rose to tie-out 2024 Journal Entries and Trust Fund transactions
- Look at staffing a February Primary Election (if needed)