



VILLAGE OF KIMBERLY, WI

NOTICE OF VILLAGE BOARD MEETING

DATE: Monday, January 22, 2024
TIME: 6:00pm
LOCATION: Village Hall, Rick J. Hermus Council
Chambers 515 W. Kimberly Ave.
Kimberly, WI 54136

Notice is hereby given that a Village Board meeting will be held on Monday, January 22, 2024, at the Village Hall. This meeting is open to the public and the agenda is listed below.

- 1) Call to Order
- 2) Roll Call
- 3) Moment of Silent Reflection, Pledge of Allegiance
- 4) President's Remarks
- 5) Approval of Minutes from the 01/08/24 meeting
- 6) Unfinished Business
 - a) Sanitary Sewer Repairs
- 7) New Business for Consideration and Approval
 - a) Purchase 2024 John Deere 320-P Backhoe for \$149,000 from Brooks Tractor
 - b) Purchase John Deere Concrete Buster for Backhoe for \$12,700 from Brooks Tractor
 - c) Site Plan Approval for Bob's Heating and Cooling, 123 S. Railroad St
 - d) Site Plan Approval for Village of Kimberly Street/Parks Facility, 426 W. Kimberly Ave.
 - e) Site Plan Approval for Blue at the Trails Town Homes and Single-Family Homes, Wilson St.
 - f) Change Order #2 to Vinton Construction Company in the amount of \$42,405.02 for Sunset Drive Reconstruction Project
- 8) Receive Minutes of Boards and Commissions
 - a) Water Commission minutes of 11/14/23 and 12/23/23
 - b) Plan Commission minutes of 10/03/23 and 12/19/23
- 9) Public Participation

10) Adjournment

Village Board Virtual Option

Jan 22, 2024 6:00 – 6:30 PM (America/Chicago)

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**REGULAR MEETING OF THE KIMBERLY VILLAGE BOARD
MINUTES
JANUARY 8, 2024**

President Kuen called the meeting to order at 6:00 pm. Appearing in person were President Kuen, Trustees Gaffney, Trentlage, Karner, Hietpas, Hruzek, Hammen. Also present were Administrator/Community Development Director Mahoney, Clerk-Treasurer Weyenberg, Director of Public Works/Zoning Administrator Ulman, Community Enrichment Director Femal, Library Director Selwitschka, FVMPD Chief Meister, Brad Werner with McMahan & Associates, a member of the media and residents in the audience.

President's Remarks

Welcome back from the holidays!

Approval of Minutes from the 12-11-2023 Meeting

Trustee Hammen moved, Trustee Trentlage seconded the motion to approve the Village Board minutes from 12-11-2023. The motion carried by unanimous vote of the board.

Unfinished Business:

None

New Business:

Claim of Injury in Sunset Park on 12/11/22

Ms. Janssen submitted a final claim of \$6,296.23 related to an injury in the park back on 12/11/2022. CVMIC issued a recommendation to deny. Trustee Trentlage moved, Trustee Hammen seconded the motion to deny the claim of injury. The motion to deny carried by unanimous vote of the board.

Pay Request #2 to Town of Buchanan- amount of \$46,036.63 for Emons Rd Project

Trustee Hammen moved, Trustee Karner seconded the motion to pay the Town of Buchanan \$46,036.63 for the Emons Road Project. Administrator Mahoney stated that this should be the last payment. The motion carried by unanimous vote of the board.

2024-2029 Comprehensive Outdoor Recreation Plan

Trustee Hammen moved, Trustee Trentlage seconded the motion to approve the 2024-2029 Comprehensive Outdoor Recreation Plan. This plan was reviewed by the Plan Commission and recommended for approval. There was some discussion regarding restrooms in Treaty and Memorial parks. The motion carried by unanimous vote of the board.

WE Energies LED Street Lighting Conversion Work Request for 2024

Trustee Trentlage moved, Trustee Hammen seconded the motion to approve the WE Energies LED Street Lighting Conversion work request for 2024 in the Applewood Dr area in the amount of \$28,840. The motion carried by unanimous vote of the board.

Award Asbestos Removal Contract

Trustee Hammen moved, Trustee Karner seconded the motion to award the Asbestos Removal Contract to Asbestos Removal, Inc. in the amount of \$19,785 for the current Street and Parks building. There was no discussion on this item. The motion carried by unanimous vote of the board.

Certificate of Payment #4 to MCC, Inc., in the amount of \$171,279.63 for the 2023 Grading and Graveling for the Blue Development

Trustee Karner moved, Trustee Trentlage seconded the motion to approve the certificate of payment to MCC, Inc. in the amount of \$171,279.63 for the 2023 Grading and Graveling for the Blue Development. There was no discussion on this item. The motion carried by unanimous vote of the board.

Certificate of Payment #4 to Vinton Construction in the amount of \$163,552.74 for the 2023 Sunset Drive street construction

Trustee Karner moved, Trustee Gaffney seconded the motion to approve the certificate of payment to Vinton Construction in the amount of \$163,552.74 for the Sunset Drive street construction. There was no discussion on this item. The motion carried by unanimous vote of the board.

Sanitary Sewer Repairs

Director Ulman reports on a backup issue on Linda St. No action was taken on this item; will continue to monitor the area and come back with information as provided.

Bills/Claims and Financial Statements for November 2023

Trustee Hammen moved, Trustee Karner seconded the motion to approve the Bills/Claims and Financial Statements for November 2023. There was no discussion on this item. The motion carried by unanimous vote of the board.

Reports:

Chief of Police

Chief Meister spoke regarding a slight increase in calls over the last 3 years which is typical. The county is changing how they handle certain types of transports, so now each agency is responsible for their own transports moving forward. The full impact of this change is still unknown at this time.

Director of Public Works/Zoning Administrator

Director Ulman noted that the village now has full staff of CDL operators for this upcoming winter season. The village was awarded \$57,802.64 in LRIP funding for the Kennedy Ave diamond grinding and dowel bar retro fit project. Progress is being made with the street/parks building, the admin staff is now located in Village Hall for the duration of the construction project.

Community Enrichment Director

Director Femal noted in addition to her report, the fundraiser for Verhagen Park playground has secured a couple larger donations. We're looking for any and all new ideas for the parks/rec programs and have continued to grow in programs we offer.

Library Director

Director Selwitschka stated that the library partnered up with the school district for the Monster Makers project. There's currently an immigration traveling exhibit created by Wisconsin Humanities on display at the library.

Community Development Director / Administrator

Director Mahoney indicated that we are moving forward with the site plan review at the Blue at the Trail Development, the design is heading to the next Plan Commission meeting for approval. The complex generator is in its permanent location, we are waiting for it to be hooked up and that should happen in the near future.

Clerk – Treasurer

Clerk Weyenberg stated that we have been busy accepting tax bill payments in the office as well as mailed in payments. There has also been some training of staff in the office to fill some gaps. There will be no primary in the Village as the three trustee seats and president are running unopposed.

Public Participation

None

Adjournment

Trustee Trentlage moved, Trustee Hammen seconded the motion to adjourn. The motion carried by unanimous vote at 6:43 pm.

Jennifer Weyenberg
Clerk-Treasurer

Dated 01/18/2024
Drafted by ELZ
Approved by Village Board _____



Village of Kimberly REQUEST FOR BOARD CONSIDERATION

ITEM DESCRIPTION: Sanitary Sewer Repairs

REPORT PREPARED BY: Greg Ulman, Director of Public Works/Zoning Administrator

REPORT DATE: January 22, 2024

ADMINISTRATOR'S REVIEW/COMMENTS:

No additional comments to this report _____ **MEM**

See additional comments attached _____

EXPLANATION: On January 8, 2024 Village Engineer Brad Werner, McMahon, contacted Hietpas and Jossart Brothers for quotes to reconstruct the Linda Street mainline sanitary sewer, as was discussed at the board meeting on January 8, 2024. In addition, Engineer Werner contacted WE Energies to find out the current situation of gas lines and services to homes (see the attached email). There are both plastic and old steel gas services that would cross our sewer trench. Old steel services are especially challenging as they tend to be more prone to damage when disturbed than new plastic lines. Once frost goes below these lines it is not safe to excavate under them as frozen heavy ground encases the service and would break the service line.

Both contractors are concerned about construction at this time of year. The following are comments they provided:

- Subzero temps at night and highs in the low single digits next week will drive frost down quickly and also risks suspending construction prior to reaching the problem location.
- Once frost goes below gas service depth it is not safe to excavate through gas lines crossing the trench. This would suspend construction activities until frost is gone.
- Exposed water services crossing the trench are at risk for freezing. At a minimum, working with homeowners would be needed so they could leave a faucet running to provide constant flow through the water service to reduce the potential for freezing.
- Excavated ground will freeze and also create problems on the surface street.
- Saw cutting and removing the frozen concrete street pavement and base is more difficult and would result in more damage to adjacent slabs in the removal process.
- Production would be much slower resulting in a higher project cost than if done in early spring.
- Overall, they feel the project is more expensive and very risky (resulting in possible change orders) than if done in early spring.

Based upon this information Staff will do the following:

- Proceed this winter by working with Speedy Clean on a program to clean and televise the area to maintain flow.
- Proceed with the Linda Street mainline reconstruction project public bid with a completion date of mid-to-late April, with contractor mobilization as soon as frost is out of the ground. The bid award will be considered by the Village Board.

Funding: Sanitary Sewer Fund

RECOMMENDED ACTION: No action is requested at this time.

Attachments:

1. Email correspondence with WE Energies
2. Sanitary Sewer map

Greg Ulman

From: Schmelzer, Devon C <Devon.Schmelzer@wecenergygroup.com>
Sent: Tuesday, January 9, 2024 9:29 AM
To: Brad Werner
Cc: Deuth, Heather
Subject: RE: URGENT - Linda St Gas lines - Kimberly

Hey Brad,

Heather is out today. At this location on S Linda St our gas main is in the terrace on the west side of the street. So all the properties on the east side of Linda St will have a gas service crossing the road. There is a mix of both steel and PE services. My guess is the services would be between 2ft and 3ft deep. Please just make sure that our services are being spotted and if they have any issues contact our E-van (290) 858 1565. Let me know if you need anything else.

Thanks

Devon Schmelzer
We Energies
Operations Supervisor – Major Projects
Office: 920-380-3572
Cell: 920-495-8699
Devon.Schmelzer@wecenergygroup.com

From: Brad Werner <BWerner@mcmgrp.com>
Date: Tuesday, Jan 09, 2024 at 8:04 AM
To: Deuth, Heather <Heather.Deuth@we-energies.com>
Cc: Greg Ulman <gulman@vokimberlywi.gov>
Subject: URGENT - Linda St Gas lines - Kimberly

***** Exercise caution: This is an EXTERNAL email. DO NOT open attachments or click links from unknown senders or in unexpected emails. *****

Morning Heather,

The Village may try to do an emergency sanitary mainline relay in the next week on Linda St from the Rubber Furnco just south of Kimberly Ave to just past MH A5-731 (see attached map). The biggest concern is gas services crossing the centerline of the road where the excavation will take place. There is currently no frost in the street but that could change next week.

What is the status of your system here? are these plastic or steel? Do they cross the road? Any idea on how much cover is on services?

Let us know your thoughts.

Thanks,
Brad

Brad D. Werner, P.E.

Vice President / Sr Municipal Engineer



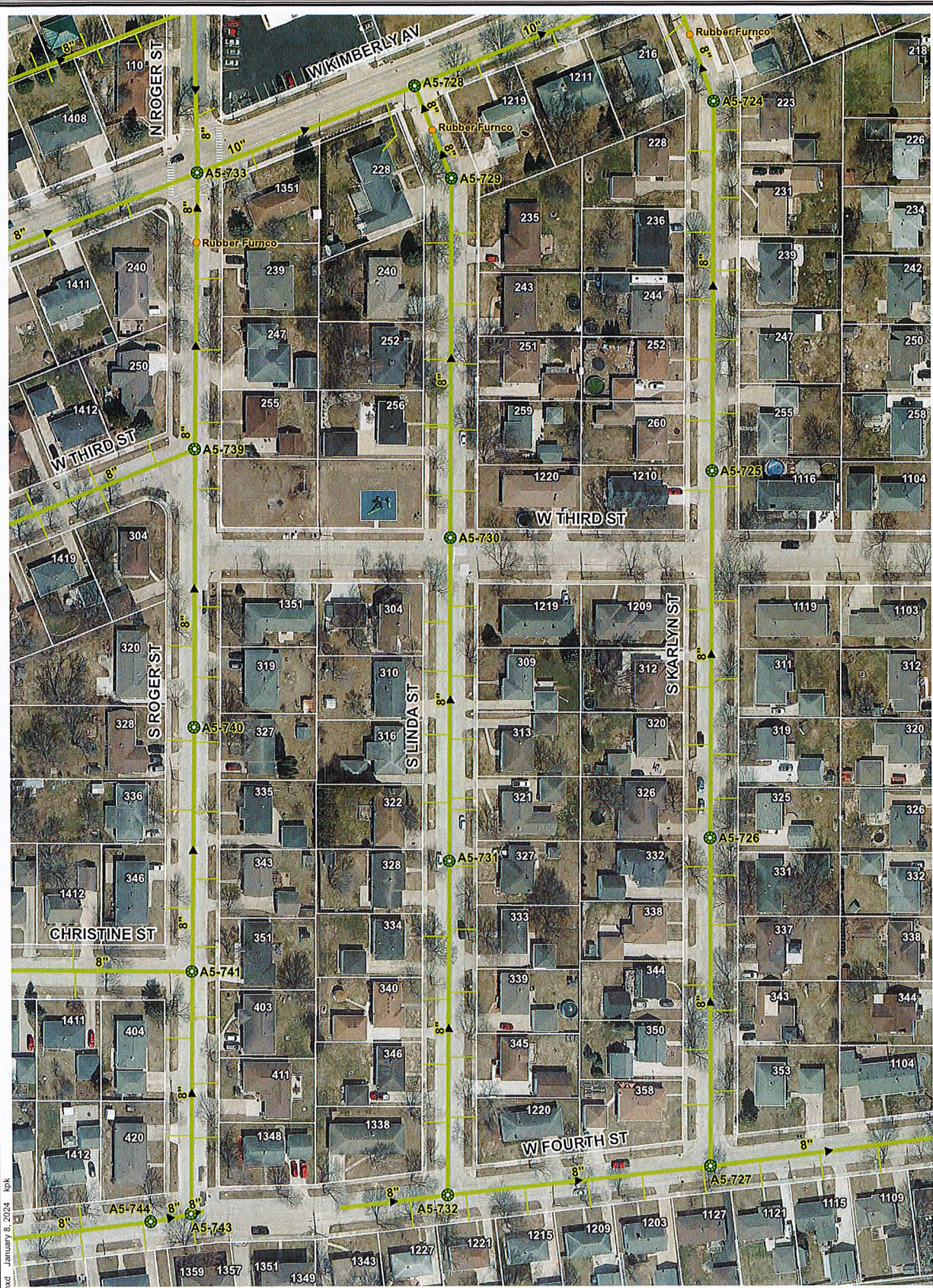
1445 McMahan Dr | Neenah, WI 54956
O:920.751.4200 x225 | C:920.858.6072

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Confidentiality Statement






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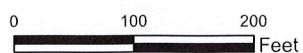
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w:\USERS\B\Werner\From KPK\Kimberly\LindaSL_E.mxd January 8, 2024 kpk

Mapped Features

-  Sanitary Manhole
-  Sanitary Fitting
-  Sanitary Gravity Main
-  Sanitary Lateral
-  Parcel w/ Address #



Source: Outagamie County, 2023.

Disclaimer: The property lines, right-of-way lines, and other property information on this drawing were developed or obtained as part of the County Geographic Information System or through the County property tax mapping function. McMAHON ASSOCIATES, INC. does not guarantee this information to be correct, current, or complete. The property and right-of-way information are only intended for use as a general reference and are not intended or suitable for site-specific uses. Any use to the contrary of the above stated uses is the responsibility of the user and such use is at the user's own risk.



McMAHON
ENGINEERS ARCHITECTS
McMAHON ASSOCIATES, INC.

FIGURE 1
LINDA STREET SANITARY
VILLAGE OF KIMBERLY
OUTAGAMIE COUNTY, WISCONSIN



Village of Kimberly REQUEST FOR BOARD CONSIDERATION

ITEM DESCRIPTION: Backhoe Purchase

REPORT PREPARED BY: Greg Ulman, Director of Public Works/Zoning Administrator
Shaun Brill, Equipment Mechanic

REPORT DATE: January 22, 2024

ADMINISTRATOR'S REVIEW / COMMENTS:

No additional comments to this report MEM

See additional comments attached _____

EXPLANATION: Our current backhoe is up for replacement, as indicated in the CIP. We have been collecting quotes through Sourcewell, a bidding agency who collects all the bid tabulations to guarantee the best governmental price. We do reach out to each manufacturer individually with our spec sheet, on what The Village of Kimberly needs to complete our operations, and they give us a response based on the Sourcewell governmental price. Sourcewell does charge a percentage fee to use their services but the seller will pay the fee. The spec differences and pricing are as follows:

John Deere: 320-P \$149,000.00

- Meets all specs.
- We will have familiarity with John Deere since we currently own a John Deere.
- Local service and parts.
- American made.

Caterpillar: 420 \$168,875.46

- Meets all specs.
- Most expensive.
- NOT American made.

JCB: 3CX-14HFCA \$138,623.00

- Does not meet specs.
(Wrong tires, no backhoe boom protection plate, no LED lights, lower operating weight, unknown engine reliability score, light counterweight – 600# below minimum spec.)

- Did not list concrete buster separately.
- Not given much information on backhoe itself on what was included in the price.

Even though JCB was the lowest price, staff recommend purchasing the John Deere backhoe. The staff is satisfied with the service and reliability of parts from Brooks Tractor (John Deere). We are also unimpressed with JCB not being able to meet our minimum specs, and the money we would need to invest in the backhoe to meet the specs would bring the cost up dramatically, not to mention it would still be underweight.

Funding: This equipment is in the approved 2024 CIP and budget as SE-24-01 Backhoe Replacement with a total budget of \$230,000 - split 50/50 between the Storm Water Utility and Street Equipment Trust Fund. This estimate of \$149,000 would be split accordingly:

\$74,500 from Street Equipment Trust Fund

\$74,500 from Storm Water Utility

RECOMMENDED ACTION: Purchase the 2024 John Deere 320-P Backhoe for \$149,000.00 from Brooks Tractor.

Attachments: Village Specs and Quotes

Village of Kimberly 2024 Backhoe Minimum Specifications

The Village of Kimberly is seeking to purchase a new 2024 Backhoe; we require, at a minimum, the following specifications for the backhoe to do our job safely and efficiently.

- 92" Front Bucket with hydraulic coupler
- 24" Backhoe bucket- with wider "duckbill" teeth
- Extendable backhoe
- Auxiliary hydraulics with one- and two-way flow on dipperstick
- Hydraulic couplers (easy on/off) on backhoe for buster
- Joystick arms for backhoe with ability to change between excavator and backhoe controls
- Mitas High-Capacity Municipal tires
- Front fenders
- Ride control
- Air seat
- Sun visor
- Driveshaft guards
- Roof mounted strobe light
- Fire extinguisher mount and extinguisher
- Remote battery jump start posts and disconnect
- Backhoe boom protection plate
- AM/FM radio
- A/C
- Idle shut down timer
- Backhoe anti sway
- Auxiliary 3rd function front bucket
- LED light package
- LED work lights on dipperstick
- 1,000# counterweight
- Buster- list cost out separately
- Remote diagnostics ability
- **Option-** hydraulic backhoe disconnect
- **Option-** high flow auxiliary function
- **Option-** 4 in 1 bucket



Quote Id: 30093808

Prepared For:
VILLAGE OF KIMBERLY

Prepared By: **ADAM ALBERSON**

Brooks Tractor Incorporated
1031 Lawrence Drive
De Pere, WI 54115

Tel: 920-336-5711

Fax: 920-336-6405

Email: aalberson@brookstractor.com

Date: 13 December 2023

Offer Expires: 19 January 2024

Confidential

Selling Equipment

Quote Id: 30093808

Customer: VILLAGE OF KIMBERLY

JOHN DEERE 320 P-Tier Backhoe Loader

Equipment Notes: Sale Price Includes Sourcewell Pricing Discounts
 Brooks Tractor Pays \$1,556.00 to use Program.
 John Deere Sourcewell #011723-JDC
 List Price Before Soucewell Discounts
 \$261,403.51 (43% Savings)
 Included in Sale Price:
 Full Comprehensive Warranty Coverage
 24 Months or 2,000 Hours
 Hydraulic High Flow
 LED Light Package
 Not Included in Sale Price To Be Added:
 Allied 777E Hammer & Fittings \$12,700.00
 John Deere Hydraulic Quick Coupler
 \$9,360.00
 John Deere 1.31CY 92" Multi-Purpose (4 in 1)
 Bucket \$8,200.00

Hours:
Stock Number:

Code	Description	Qty
17C0T	320 P-tier Backhoe Loader	1
Standard Options - Per Unit		
80A3	Custom Code - Accu-Swing	1
183E	JDLink™	1
0202	United States	1
0259	English	1
0351	Translated Text Labels	1
1003	Cab	1
3009	Autoshift Transmission - Mechanical <i>5 spd</i> Front Wheel Drive (MFWD) with Limited Slip Differential	1
4006	John Deere 4.5L - FT4/Stage IV <i>113 HP</i>	1
5255	Galaxy 550 Radial - 500/70R24 Rear & 340/80R18 Front	1
6154	Dual Batteries with Disconnect, Jump Post, and Engine Block Heater	1
6576	1000 lb. (454 kg.) Front Counterweight	1
6754	Heavy Lift - Extendible Dipperstick	1
7002	Auxiliary Hydraulics with One & Two Way Flow (Hammer & Thumb/Swinger)	1
7028	Pilot Controls, Two Lever, with Pattern Selection	1
7041	Loader Coupler, Three-Function Hydraulics, Single Lever	1

Selling Equipment

Quote Id: 30093808 Customer: VILLAGE OF KIMBERLY

7702	Deere Standard Quick Coupler - Less Thumb	1
7806	24 in. (611 mm.) Heavy-Duty Bucket, 6.9 cu. ft. (0.20 cu. m.)	1
7860	92 in. (2.35 m.) General Purpose Coupler Bucket, 1.39 cu. yd. (1.06 cu. m.)	1
8062	Backhoe Boom Protection Plate	1
8075	Diagnostic Oil Sampling Ports	1
8096	Premium Mirror Option - Exterior Rear View Mirrors (2) and Front View Mirror (1)	1
8109	Sun Visor	1
8115	MFWD Driveshaft Guard	1
8126	Heavy-Duty Grille Frame	1
8131	Heavy-Duty Stabilizer Pads	1
8135	Hydrau XR - Synthetic Hydraulic Fluid	1
8142	LED Light Package	1
8146	Left Side Console Storage with Cup Holders	1
8183	Radio, Bosch Premium Package	1
8207	Seat, Cloth Air-Suspension	1
8213	Chrome Exhaust Extension	1
8226	Strobe Light with Magnetic Mount	1
Dealer Attachments		
	Extra teeth and keepers for 24" bucket	1
	Env Drain Kit	1
	Pre Cleaner Kit	1
	Boom Light Kit	1
	Fender Kit	1
	Fire Ext & Mount Kit	1
	SMV Emblem	1



Quote Summary

Prepared For:
VILLAGE OF KIMBERLY
515 W KIMBERLY AVE
KIMBERLY, WI 54136
Business: 920-788-7515

Prepared By:
ADAM ALBERSON
Brooks Tractor Incorporated
1031 Lawrence Drive
De Pere, WI 54115
Phone: 920-336-5711
aalberson@brookstractor.com

Quote Id: 30093808
Created On: 13 December 2023
Last Modified On: 13 December 2023
Expiration Date: 19 January 2024

Equipment Summary	Selling Price	Qty	Extended
JOHN DEERE 320 P-Tier Backhoe, Loader	\$ 149,000.00 X	1 =	\$ 149,000.00
Equipment Total			\$ 149,000.00

Quote Summary	
Equipment Total	\$ 149,000.00
SubTotal	\$ 149,000.00
Total	\$ 149,000.00
Down Payment	(0.00)
Rental Applied	(0.00)
Balance Due	\$ 149,000.00

Salesperson : X _____

Accepted By : X _____

Sourcewell Contract 011723-JDC**John Deere Construction Retail Sales****List Price Discounts**

Note: Discounts will be calculated based on current pricing at the time an agency requests the quote and will be valid for 30 days.

Please contact your local dealer for a contract quote: <https://dealerlocator.deere.com/servlet/>

Product Family	Model	List Price Discount
Articulated Dump Trucks	260E	31%
Articulated Dump Trucks	260 P-Tier	28%
Articulated Dump Trucks	310E	31%
Articulated Dump Trucks	310 P-Tier	28%
Articulated Dump Trucks	410E-II	31%
Articulated Dump Trucks	410 P-Tier	28%
Articulated Dump Trucks	460E-II	31%
Articulated Dump Trucks	460 P-Tier	28%

Product Family	Model	List Price Discount
Backhoes	310L EP	43%
Backhoes	310L	43%
Backhoes	310 G-Tier	43%
Backhoes	310 P-Tier	43%
Backhoes	310SL	43%
Backhoes	310SL HL	43%
Backhoes	315SL	43%
Backhoes	320 P-Tier	43%
Backhoes	410L	41%
Backhoes	410 P-Tier	41%
Backhoes	710L	43%
Backhoes	710 P-Tier	43%

Product Family	Model	List Price Discount
Compact Track Loaders	317G	30%



Village of Kimberly
Kimberly, Wisconsin

Account # 39035

Sourcewell Contact

If this is your organization and you need assistance, please contact:

Aaron Peterson

Email: aaron.peterson@sourcewell-mn.gov

Is this your organization?

Great news—your organization is already a Sourcewell participating agency! Using the account number provided on this page, you can immediately utilize Sourcewell awarded contracts by providing this number to the supplier you wish to purchase from.

Update your organization's information

Add a contact for your organization

Need help?

Contact our dedicated Client Relations Team at service@sourcewell-mn.gov or 877-585-9706.

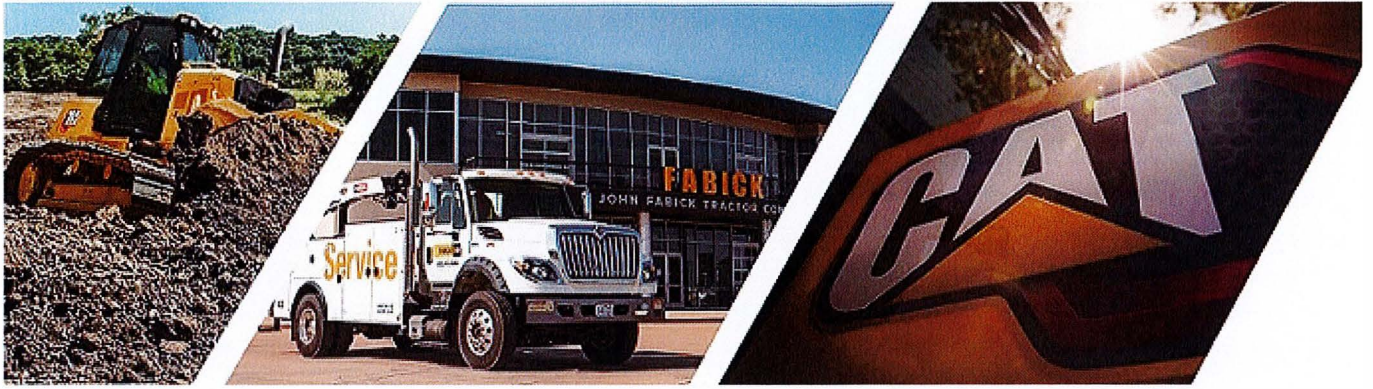


About

Careers

Compliance & Legal

Contact



Proposal

QUOTE NUMBER 204874-01
Jan 03, 2024

CATERPILLAR INC. 420

PREPARED FOR
VILLAGE OF KIMBERLY

FABICK





Jan 03, 2024

VILLAGE OF KIMBERLY
515 W KIMBERLY AVE
KIMBERLY, WISCONSIN, 54136-1335

Dear Shaun Brill,

We are pleased to offer you the following proposal for your consideration.

One (1) Caterpillar Inc. Model: 420 Backhoe Loader with all standard equipment in addition to the specifications listed below:

STOCK NUMBER:

SERIAL NUMBER:

YEAR: 2024

SMU:

Thank you for your interest in Fabick Cat and Caterpillar products. Please know that we sincerely appreciate your consideration and look forward to answering any questions you may have moving forward. Feel free to contact me directly at any time.

Sincerely,

Trevor Quillico
Machine Sales Representative
Fabick Cat
trevor.quillico@fabickcat.com
(920) 371-4792

This quotation is valid for 30 days, after which time we reserve the right to re-quote.

"TO EVER SERVE OUR CUSTOMERS BETTER"



One (1) Caterpillar Inc. Model: 420 Backhoe Loader with all standard equipment in addition to the specifications listed below:

STANDARD FEATURES

BOOMS, STICKS, AND LINKAGES -BACKHOE -- 14'4" Center pivot backhoe -4.3 Meters -- Boom and swing transport locks -- Pilot operated backhoe and -electro hydraulic stabilizer controls -- Street type stabilizer shoes -- Anti-drift hydraulics (boom, stick, -and E-stick) -- Cat Cushion Swing(tm) system -LOADER -- Single Tilt Loader -- Lift cylinder brace -- Self-leveling loader with single -lever control -- Return-to-dig -(automatic bucket positioner) -- Transmission neutralizer switch -- Bucket level indicator

POWERTRAIN -- Water separator -- Thermal starting aid system -- Dry type axial seal air cleaner with -integral precleaner -- Automatic dust ejection system -- Filter condition indicator -- Hydraulically boosted multi-plate -wet disk brake with dual pedals & -interlock -- Differential lock -- Torque converter -- Transmission-four speed manual shift -- Neutral safety switch -- Spin-on filters for -Fuel -Engine oil - Transmission oil -- Outboard Planetary Rear Axles -- Diesel particulate filter -- Hydrostatic power steering

HYDRAULICS -- Pilot hoe and mechanical loader -controls -- Load sensing, variable flow system -with 43 gpm (162 L/min) axial piston -pump -- 6 micron hydraulic filter -- Caterpillar XT-3 hose -- Hydraulic oil cooler -- Pilot control shutoff switch -- Flow-sharing hydraulic valves -- Hydraulic suction strainer

ELECTRICAL -- 12 volt electrical start -- Horn, front and rear -- Backup alarm -- Hazard flashers/turn signals -- Halogen head lights (2) -- Halogen rear flood lights (2) -- Stop and tail lights -- Audible system fault alarm -- Key start/stop system -- 850 CCA maintenance free battery -- Battery disconnect switch -- External Power Receptacle (12v) -- Diagnostic ports for engine and -machine Electronic Control Modules

OPERATOR ENVIRONMENT -- Interior rearview mirror -- ROPS canopy, Rear Fenders -- 2-inch (50mm) retractable seat belt -- Tilt steering column -- Steering knob -- Hand and foot throttle -- Automatic Engine Speed Control -- One Touch Low Idle -- Floor mat and Coat Strap -- Lockable storage area -- Air suspension seat

FLUIDS -- Antifreeze - Extended Life Coolant --20F (-30C)

OTHER STANDARD EQUIPMENT -- Standard Storage Box -- Transport tie-down points -- Ground line fill fuel tank with -42.3 gal (160L) capacity & 5 gal (19L) -diesel exhaust fluid -- Rubber impact strips on radiator -guard -- Safety Manual -- Operations and Maintenance Manual -- Lockable hood -- Tire Valve Stem Protection



MACHINE CONFIGURATION

420 07A BACKHOE LOADER CFG2

LANE 3 ORDER

STICK, EXTENDABLE, 14FT

PT, 4WD/2WS AUTOSHIFT

ENGINE, 74.5KW, C3.6 DITA, T4F

HYDRAULICS, MP, 6FCN/8BNK, ST

CAB, DELUXE

DISPLAY, TOUCH SCREEN

WORKLIGHTS (8) LED LAMPS

SEAT, DELUXE FABRIC

BELT, SEAT, 2" SUSPENSION

AIR CONDITIONER, T4F

PRODUCT LINK, CELLULAR, PLE643

TIRES, 12.5 80/19.5L-24, GY

COUNTERWEIGHT, 1015 LBS

STABILIZER PADS, FLIP-OVER

LOADER BUCKET PINS

BUCKET, 24", 6.2 FT3

RIDE CONTROL

COUPLING,QD,THREADED WITH CAPS

LINES, COMBINED AUX, E-STICK

STANDARD RADIO (12V)

FAN

AUTO-UP STABILIZERS

PLATE GROUP - BOOM WEAR

FENDERS, FRONT 4WD

MIRRORS, EXTERNAL, BOTH SIDES

PINS, SPARE

KIT, HAMMER PEDAL

Rockland 1.3yd bucket

Rockland Front JRB Coupler

CAT ET Cord

CAT ET First Year of Service

Mitas Tires through Poms

"TO EVER SERVE OUR CUSTOMERS BETTER"



Sound Off Beacon EPL71M+AC

Shop to install front coupler and shop to install rear coupler

Shop to Install Beacon

Fire extinguisher and mount



PRICING INFORMATION

FABICK PRICING	\$147,750.00
SOURCEWELL PRICING	\$168,875.46

OPTIONS	7 Year, 7000 Hour Powetrain+hydraulics+technology warranty	+\$4,550
	Rear hydraulic coupler instead of manual coupler	+\$4,200
	Rockland 4in1 bucket	+\$11,900
	CAT B8S Hammer	+\$11,100

EQUIPMENT PROTECTION PLAN

Standard Warranty: 12 Months, Unlimited Hours, Premier For new machines and work tools/attachments the warranty period is 12-months/unlimited hours, starting from date of delivery to the first user.

ESTIMATED DELIVERY

6 Months

FINANCE OPTIONS



WHY CHOOSE FABICK CAT?

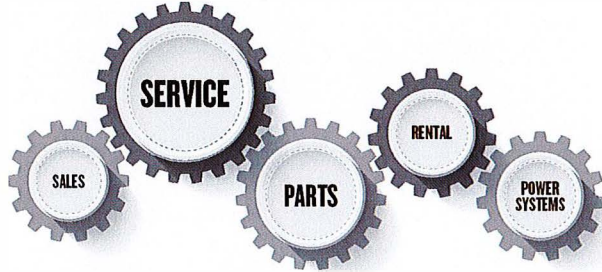
Fabick Cat is the Cat® dealer throughout major portions of Missouri, Illinois, the entire state of Wisconsin and the Upper Peninsula of Michigan. We are proud to serve the hard-working men and women that improve the quality of life in our community. From Cat machines that help maintain our infrastructure and support our farmers, to aerial lifts and emergency power generation, Fabick Cat supplies essential products that help make progress possible.

THROUGHOUT OUR TERRITORY

- 📍 34 LOCATIONS
- 🔧 200 SERVICE BAYS
- 👤 1,200+ EMPLOYEES
- 🚛 200 SERVICE TRUCKS
- 👨‍🔧 550 SERVICE TECHNICIANS
- ⚙️ 100+ PARTS DROP BOXES

SERVING THE INDUSTRIES THAT SERVE OUR REGION

With broad capabilities and advanced integration of innovative technology, we are able to serve the diverse requirements of our customers through:



SOLID FOUNDATIONS SINCE 1917

Over a century ago, our founder John Fabick Sr., set out to build the greatest service organization of its kind. He adopted the motto *"To Ever Serve Our Customers Better."* To this day, these words remain the foundation of our organization.

FABICK CAT IS HERE TO SUPPORT YOU & YOUR CONTINUED SUCCESS

LEARN MORE @ fabickcat.com » 800.845.9188 » contact@fabickcat.com



"TO EVER SERVE OUR CUSTOMERS BETTER"



Product Quotation

**Prepared For:
Mr Shaun Brill**

**Village Of Kimberly
Kimberly Wisconsin 54136**



Prepared By:
Matt Schultz
JCB OF GREEN BAY
GREEN BAY WI 54303
mobile:

Image is for indicative purpose only and may not represent exact equipment being quoted



Standard Equipment

Standard Equipment and Features & Benefits related to this product are subject to change without notice

SAFETY and SECURITY

Two post Roll Over Protective Structure (ROPS), Falling Objects Protective Structure (FOPS) and retractable seat belt. Equipped with independent park brake and loader service strut. Rear boom lock activated from operator's compartment; boom swing lock. Vandalism protection with key lock-able cab, hydraulic fill, fuel cap. All locks with the exception of the Diesel Exhaust Fluid (DEF) tank operate with ignition key. Front and rear horn buttons. Automatic backup alarm.

ENGINE

91 HP Gross (109 HP Gross option), turbocharged, water-cooled, 4 cylinder, direct injection diesel. Tier 4 Final compliant engine with Selective Catalytic Reduction (SCR) and 5 gallon DEF tank. Hand and foot throttle. Selective full flow pressure engine oil lubrication with spin-on filter cartridge. Air to fluid coolers. Separately serviceable radiator, hydraulic and transmission oil coolers. Two stage fuel filtering system utilizing a water/sediment separator and spin-on type filter element. Dual element air filter, dry type with cleanable outer element, replaceable inner element and under hood pre-cleaner.

TRANSMISSION

Separate unit mounted to engine containing torque converter and all transmission components. Pressure lubrication with spin on filter. Electrically operated Fwd / Rev lever on steering column. Electrically operated transmission. Disconnect on gear shift and loader levers. Powershift gear selection with 4 Fwd / 4 Rev speeds.

FRONT AXLE

4WD - Industrial duty JCB Max-Trac torque proportioning, outboard planetary reduction axle, 4WD shift-on-the-go; steering cylinder located behind front axle.

REAR AXLE

Separate, rigidly mounted to mainframe and connected to transmission via drive shaft. Heavy duty double reduction, outboard Planetary gear final reduction. Limited slip differential to provide automatic equalization of wheel spin under conditions of unequal footing.

BRAKES

Sealed wet multiple disc. Brake pedals can be independently operated or locked together. Power assisted, hydraulic brakes. Independent over center actuation, park brake. Transmission shifts to neutral when park brake is activated. 4 wheel braking in 2 wheel drive activated by switch.

STEERING

Hydrostatic power, with priority valve. Three steering wheel turns (lock to lock). Unbraked turning circle - 26 ft 5 in.

BACKHOE AND MAINFRAME

Unitized, one piece heavy duty mainframe with integral backhoe. Sealed swing post pins and swing cylinder pins, 2 in top and bottom rear frame plates (centermount). Fabricated boom and dipper. SAE maximum dig depth: Extradig dipper - 14 ft 7 in - 18 ft 6 in. EasyControl backhoe controls Fabricated stabilizer legs with anti-drift valves. 11000 lbs lifting hook as standard.

LOADER

Equipped with integrally mounted front end loader using two lift cylinders and two bucket dump cylinders. Parallel lift standard during loader raise and lower functions. Dump height: 9 ft 0 in. Bucket return-to-dig and third spool loader valve standard. Dump reach at full height - 32 in. Auto Smooth Ride System (AutoSRS). Front bumper protection fitted as standard.





Standard Equipment

ELECTRICAL SYSTEM

12 volt system with 150 amp alternator Standard Wiring harness and outside cab connectors meet IP69 standard for protection against ingress of dust, and pressure spray of 4.23 gpm at 1450 psi. Inside cab connectors meet IP67 standard for protection against ingress of dust, and water when submerged. Single, maintenance free battery rated at 900 cold cranking amps. Four halogen work lights in front and four separate halogen work lights in the rear. Stop lights, turn signals, and four way hazards standard. Backlit gauges and readouts consisting of a tachometer, fuel gauge, engine coolant temperature gauge, digital hour meter and digital clock. Light and alarm for battery charge condition, coolant temp., engine oil pressure, transmission oil pressure, transmission oil temp., air cleaner restriction, water in fuel indicator, and park brake engaged. Light indicators for hazard flashers on, turn signals, steering mode, and lights on. 12 volt outlet for powered accessories. Common fuses and relays located in an easy access panel. Main circuit breakers at battery positive terminal for added circuit protection. Battery ISOLator fitted as standard.

OPERATORS ENVIRONMENT

Suspension seat with adjustments for weight, seat angle, and back angle. Armrests and retractable seat belt standard. Two door entry with deluxe trim. Composite sure grip molded floor, tilt steering column, front windshield with 2 speed plus intermittent wiper and washer, interior rear view mirror, pre-wired for beacon, cup holders, storage compartment. Cab includes door ajar stays, 14 adj. vents, operable side windows, one piece rear window with wiper and washer that acts as a shield during inclement weather, heater with defogger vents, and radio pre-wire with speakers in-cabs. AutoTHROTTLE returns engine speed to pre-set hand throttle position when work is resumed. AutoDRIVE provides cruise control-type characteristics during roading. Advanced Easy Controls and Easy Controls only: AutoSTABILIZERS and AutoBOOMLOCK.

SERVICEABILITY AND MAINTENANCE

Ground level check for engine and transmission oil, brake fluid, engine coolant, and windshield washer levels. Ground level top off of engine oil, transmission oil, hydraulic fluid, brake fluid, fuel, and engine coolant. Tilt engine hood and lockable front grill. 15 second engine manifold preheat (activated through ignition switch). 40 gallon fuel tank. 20 gallon hydraulic tank with 5 micron filter. 500 hour engine oil and filter service interval. 1000 hour DEF filter interval. 1000 hour transmission oil and 500 hour transmission filter service interval. 2000 hour hydraulic oil and 500 hour hydraulic filter service interval. External Toolbox. AutoCHECK automatically performs daily under hood maintenance checks on 'key on'

TELEMATICS

JCB Livelink telematics monitored and managed remotely via a PC or smartphone. Two year subscription. Real time reporting of machine hours, routine maintenance alerts, location, critical health alerts, fuel level/consumption and work cycle information. Ability to set machine geo-fences and curfews for improved security.

SAFETY and SECURITY

Two post Roll Over Protective Structure (ROPS), Falling Objects Protective Structure (FOPS) and retractable seat belt. Equipped with independent park brake and loader service strut. Rear boom lock activated from operator's compartment; boom swing lock. Vandalism protection with key lock-able cab, hydraulic fill, fuel cap. All locks with the exception of the Diesel Exhaust Fluid (DEF) tank operate with ignition key. Front and rear horn buttons. Automatic backup alarm.





Standard Equipment

ENGINE	91 HP Gross (109 HP Gross option), turbocharged, water-cooled, 4 cylinder, direct injection diesel. Tier 4 Final compliant engine with Selective Catalytic Reduction (SCR) and 5 gallon DEF tank. Hand and foot throttle. Selective full flow pressure engine oil lubrication with spin-on filter cartridge. Air to fluid coolers. Separately serviceable radiator, hydraulic and transmission oil coolers. Two stage fuel filtering system utilizing a water/sediment separator and spin-on type filter element. Dual element air filter, dry type with cleanable outer element, replaceable inner element and under hood pre-cleaner.
TRANSMISSION	Separate unit mounted to engine containing torque converter and all transmission components. Pressure lubrication with spin on filter. Electrically operated Fwd / Rev lever on steering column. Electrically operated transmission. disconnect on gear shift and loader levers. Powershift gear selection with 4 Fwd / 4 Rev speeds.
FRONT AXLE	4WD - Industrial duty JCB Max-Trac torque proportioning, outboard Planetary reduction axle, 4WD shift-on-the-go; steering cylinder located behind front axle.
REAR AXLE	Separate, rigidly mounted to mainframe and connected to transmission via drive shaft. Heavy duty double reduction, outboard planetary gear final reduction. Limited slip differential to provide automatic equalization of wheel spin under conditions of unequal footing.
BRAKES	Sealed wet multiple disc. Brake pedals can be independently operated or locked together. Power assisted, hydraulic brakes. Independent over center actuation, park brake. Transmission shifts to neutral when park brake is activated. 4 wheel braking in 2 wheel drive activated by switch.
STEERING	Hydrostatic power, with priority valve. Three steering wheel turns (lock to lock). Unbraked turning circle - 26 ft 5 in.
BACKHOE AND MAINFRAME	Unitized, one piece heavy duty mainframe with integral backhoe. Sealed swing post pins and swing cylinder pins, 2 in top and bottom rear frame plates (centermount). Fabricated boom and dipper. SAE maximum dig depth: Extradig dipper - 14 ft 7 in - 18 ft 6 in. EasyControl backhoe controls Fabricated stabilizer legs with anti-drift valves. 11000 lbs lifting hook as standard.
LOADER	Equipped with integrally mounted front end loader using two lift cylinders and two bucket dump cylinders. Parallel lift standard during loader raise and lower functions. Dump height: 9 ft 0 in. Bucket return-to-dig and third spool loader valve standard. Dump reach at full height - 32 in. Auto Smooth Ride System (AutoSRS). Front bumper protection fitted as standard.





Standard Equipment

ELECTRICAL SYSTEM

12 volt system with 150 amp alternator standard wiring harness and outside cab connectors meet IP69 standard for protection against ingress of dust, and pressure spray of 4.23 gpm at 1450 psi. Inside cab connectors meet IP67 standard for protection against ingress of dust, and water when submerged. Single, maintenance free battery rated at 900 cold cranking amps. Four halogen work lights in front and four separate halogen work lights in the rear. Stop lights, turn signals, and four way hazards standard. Backlit gauges and readouts consisting of a tachometer, fuel gauge, engine coolant temperature gauge, digital hour meter and digital clock. Light and alarm for battery charge condition, coolant temp., engine oil pressure, transmission oil pressure, transmission oil temp., air cleaner restriction, water in fuel indicator, and park brake engaged. Light indicators for hazard flashers on, turn signals, steering mode, and lights on. 12 volt outlet for powered accessories. Common fuses and relays located in an easy access panel. Main circuit breakers at battery positive terminal for added circuit protection. Battery isolator fitted as standard.

OPERATORS ENVIRONMENT

Suspension seat with adjustments for weight, seat angle, and back angle. Armrests and retractable seat belt standard. Two door entry with deluxe trim. Composite sure grip molded floor, tilt steering column, front windshield with 2 speed plus intermittent wiper and washer, interior rear view mirror, pre-wired for beacon, cup holders, storage compartment. Cab includes door ajar stays, 14 adj. vents, operable side windows, one piece rear window with wiper and washer that acts as a shield during inclement weather, heater with defogger vents, and radio pre-wire with speakers in-cabs. AutoTHROTTLE returns engine speed to pre-set hand throttle position when work is resumed. AutoDRIVE provides cruise control-type characteristics during roading. Advanced Easy Controls and Easy Controls only: AutoSTABILIZERS and AutoBOOMLOCK.

HYDRAULIC SYSTEM

Open center system, variable displacement piston pump, engine driven, 44 gpm at 3650 psi. Separate oil reservoir not shared with other systems, externally mounted to mainframe for ground level servicing. Abrasion protection of valve to boom hoses. Hoses have burst pressure of 4 times working pressure. Structural steel pipes to withstand minor impacts. Auto Idle reduces engine speed when no hydraulic functions are requested.

SERVICEABILITY AND MAINTENANCE

Ground level check for engine and transmission oil, brake fluid, engine coolant, and windshield washer levels. Ground level top off of engine oil, transmission oil, hydraulic fluid, brake fluid, fuel, and engine coolant. Tilt engine hood and lockable front grill. 15 second engine manifold preheat (activated through ignition switch). 40 gallon fuel tank. 20 gallon hydraulic tank with 5 micron filter. 500 hour engine oil and filter service interval. 1000 hour DEF filter interval. 1000 hour transmission oil and 500 hour transmission filter service interval. 2000 hour hydraulic oil and 500 hour hydraulic filter service interval. External Toolbox. AutoCHECK automatically performs daily under hood maintenance checks on 'key on'.

TELEMATICS

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HYDRAULIC SYSTEM

Closed center system, variable displacement piston pump, engine driven, 44 gpm at 3650 psi. Separate oil reservoir not shared with other systems, externally mounted to mainframe for ground level servicing. Abrasion protection of valve to boom hoses. Hoses have burst pressure of 4 times working pressure. Structural steel pipes to withstand minor impacts. Auto Idle reduces engine speed when no hydraulic functions are requested.





Features and Benefits

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JCB EcoMAX 4.4L Turbocharged	No DPF or after treatment keeping servicing cost low and downtime minimal but still providing high levels of torque
Low cost increased efficiency	Fuel efficient JCB engine provides high torque at low revs enabling high a breakout force at the same rate
High performance hydraulics	44 gpm hydraulic pump accomodating variety of attachments and increase cycle times
JCB Efficient Design program	JCB high back-ff brakes and viscous fan increase efficiency and savings
JCB Max-Trac torque proportioning differential axle	Increases tractive effort in all ground conditions
Advanced Easy Controls	JCB's controls provide finger tip control and supreme comfort with various configurations to accomodate all users
Comfort and ease of use	Fully adjustable seat, dash mounted display for machine performance and ISO, SAE and JCB X control patterns change over accomodates all users
Automated features	Auto Idle, Auto Check, Auto Throttle, Auto Boomlock, Auto SmoothRide System, Auto Pre-Heat, Auto Stabilizer-up only make operation easier
Kingpost design	Hoses are strategically routed to prevent pinching and maximize backhoe movement
Front and rear quickhitch	Easy and effortless switching between attachments
Fixed or extending dipper	14 ft dipper decreases time spent repositioning translating into efficiency
Twin hose burst technology	Hose burst check valve keep legs from moving during operation
Safe and secure	Anti-slip steps, laminated front screen, rear boom lock, self leveling loader and stabilizer from dropping in the event of hose failure





Features and Benefits

Optional hand tool circuit	Provides ability to prepare sites
Optional Extradig package	Allows for an additional 4 ft 1 in in dig depth increasing efficiency while decreasing time spent repositioning
Added value through JCB Assetcare	Provides comprehensive peace at mind warranty and service agreements worldwide
Technical support service	Provides instant access to factory expertise, day or night
Parts distribution	Global network of part centers, delivering 95 percent of all parts any where in the world within 24 hrs

SAFETY AND SECURITY

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Features and Benefits

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Features and Benefits

OPERATORS ENVIRONMENT

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Prepared For:
 Mr Shaun Brill
 Village Of Kimberly
 Kimberly Wisconsin 54136

 phone:920-788-7507
 SBrill@Vokimberlywi.gov

Dealer Information
 JCB OF GREEN BAY
 2140 HUTSON ROAD
 GREEN BAY WI 54303
 phone:(920) 494-8726
 fax:(920) 494-1440

Prepared By:
 Matt Schultz
 matt.schultz@fairchildequipment.com
 mobile:
 Quote Date: 01/05/24
 Valid Until: 01/18/24
 Quotation Reference: 400811

Model: 3CX 14HFCA

Qty: 1

Equipment Description

3CX-14 SUPER, 4WD, 2WS, 109 HP TIER 4 FINAL, 14 FT CENTERMOUNT BACKHOE WITH EXTRADIG DIPPER. ADVANCED EASY CONTROLS. 150A ALTERNATOR, 400 LBS COUNTERWEIGHT. INCLUDES 2 SPOOL LOADER VALVE, FLIP OVER FEET, INTERIOR MIRROR, FRONT AND REAR WORKLIGHTS, BATTERY ISOLATOR, TOOLBOX AND AUTOMATE (AUTOCHECK, AUTOIDLE, AUTODRIVE AND AUTOHROTTLLE).
 3CX-14 SUPER 109 HP CM MODEL PACK
 GALAXY INDUSTRIAL 14-17.5-10 AND 19.5L-24-12 POWERSHIFT + TL AND LSD, 4WD/2WS
 CAB WITH A/C HEATED AIR SUSPENSION SEAT, ENGINE BLOCK HEATER
 CAB, LIVELINK,
 HAMMER/BI-DIRECTIONAL PIPEWORK
 5/8 LOADER PIPEWORK RTD AND AUTO SRS FOR BI_DIRECTIONAL
 ENGLISH TERRITORY PACK
 HEADLIGHTS
 SEATBELT 3 IN
 LARGE EXTERIOR MIRRORS
 HYD EXCAVATOR QH (HMR/BI-DIRECTIONAL) WITH LIFTING KIT and 5T SHACKLE
 CODE REQUIRED FOR EXCAVATOR QUICKHITCHES
 DIRECT MOUNT 6 IN1 SHOVEL 92 IN, 1.3yd3, STANDARD DUTY WITH BOLT-ON-TOEPLATE
 BACKHOE BUCKET - 24 IN (600MM) HEAVY DUTY 5 TEETH
 HM380 HAMMER (INCLUDES HOSES, MOIL, GREASE GUN, GREASE CARTRIDGE, GAS BOTTLE AND CHARGING KIT)
 2 YEARS OR 2,000 HOURS FULL FACTORY WARRANTY

Equipment Total	138,623.00
Total Customer Sale Price	138,623.00

Notes: Investment quoted F.O.B. Delivered Kimberly, WI (plus applicable tax)
 Investment includes Dealer pre-delivery inspection and hydraulic testing.
 Investment includes operational overview of all operating features at customers location.
 PLEASE NOTE: UNIT quoted is an order out unit and is subject to availability and is subject to any manufacturers price increase. Customer will be given copy of factory letter with if any price increase or decrease is applicable. Customer will be responsible for percentage of increase or receive percentage decrease if applicable.

The above quote supersedes all preceding price quotes. Prices quoted are valid for 30 days from quote date.

Customer Acceptance: _____ Date _____

Dealer _____ Date _____





Village of Kimberly REQUEST FOR BOARD CONSIDERATION

ITEM DESCRIPTION: Backhoe Buster Purchase
REPORT PREPARED BY: Greg Ulman, Director of Public Works/Zoning Administrator
REPORT DATE: January 22, 2024
ADMINISTRATOR'S REVIEW / COMMENTS: <p>No additional comments to this report _____ MEM_____</p> <p>See additional comments attached _____</p>
EXPLANATION: The Street Department is proceeding with purchase of a new backhoe buster hammer. The purpose of the hammer is to bust up concrete when we repair road patches. Our current hammer, purchased in 2004, is leaking oil and less effective than it once was. To prevent oil spilling on the street and to improve operations we asked local distributors for quotes for the hammer through the Sourcewell pricing and received the following: Brooks Tractor: John Deere Buster \$12,700.00 Fabick Cat: Caterpillar Buster \$11,100.00 Fairchild Equipment: JCB - Did not list a separate buster price. Staff recommend purchase the John Deere buster with Brooks Tractor keep the continuity the same with the equipment. <i>The selection of the backhoe is the previous agenda item.</i> Funding: This equipment is in the approved 2024 CIP and budget as SE-24-02 Concrete Buster for Backhoe with a total budget of \$15,000 split 50/50 between the Storm Water Utility and Street Equipment Trust Fund. This recommended purchase price of \$12,700 would be split accordingly: \$6,350 Storm Water Utility \$6,350 Street Equipment Trust Fund
RECOMMENDED ACTION: Staff recommends approval of the John Deere buster from Brooks Tractor for \$12,700. Attachments: Village specs and quotes

Quote Id: 30093808

Prepared For:
VILLAGE OF KIMBERLY

Prepared By: **ADAM ALBERSON**

Brooks Tractor Incorporated
1031 Lawrence Drive
De Pere, WI 54115

Tel: 920-336-5711

Fax: 920-336-6405

Email: aalberson@brookstractor.com

Date: 13 December 2023

Offer Expires: 19 January 2024

Confidential

Selling Equipment

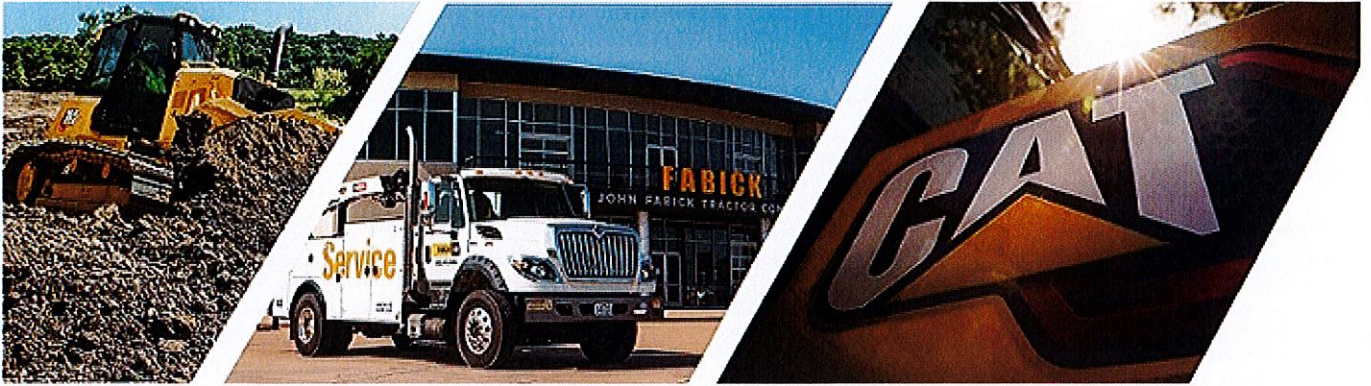
Quote Id: 30093808 Customer: VILLAGE OF KIMBERLY

JOHN DEERE 320 P-Tier Backhoe Loader

Equipment Notes: Sale Price Includes Sourcewell Pricing Discounts,
 Brooks Tractor Pays \$1,556.00 to use Program.
 John Deere Sourcewell #011723-JDC
 List Price Before Soucewell Discounts
 \$261,403.51 (43% Savings)
 Included in Sale Price:
 Full Comprehensive Warranty Coverage
 24 Months or 2,000 Hours
 Hydraulic High Flow
 LED Light Package
 Not Included in Sale Price To Be Added:
 Allied 77E Hammer & Fittings \$12,700.00
 John Deere Hydraulic Quick Coupler
 \$9,360.00
 John Deere 1.31CY 92" Multi-Purpose (4 in 1)
 Bucket \$8,200.00

Hours:
 Stock Number:

Code	Description	Qty
17C0T	320 P-tier Backhoe Loader	1
Standard Options - Per Unit		
80A3	Custom Code - Accu-Swing	1
183E	JDLink™	1
0202	United States	1
0259	English	1
0351	Translated Text Labels	1
1003	Cab	1
3009	Autoshift Transmission - Mechanical <i>5spd</i> Front Wheel Drive (MFWD) with Limited Slip Differential	1
4006	John Deere 4.5L - FT4/Stage IV <i>113 HP</i>	1
5255	Galaxy 550 Radial - 500/70R24 Rear & 340/80R18 Front	1
6154	Dual Batteries with Disconnect, Jump Post, and Engine Block Heater	1
6576	1000 lb. (454 kg.) Front Counterweight	1
6754	Heavy Lift - Extendible Dipperstick	1
7002	Auxiliary Hydraulics with One & Two Way Flow (Hammer & Thumb/Swinger)	1
7028	Pilot Controls, Two Lever, with Pattern Selection	1
7041	Loader Coupler, Three-Function Hydraulics, Single Lever	1



Proposal

QUOTE NUMBER | 204874-01
Jan 03, 2024

CATERPILLAR INC. 420

PREPARED FOR
VILLAGE OF KIMBERLY



Jan 03, 2024

VILLAGE OF KIMBERLY
515 W KIMBERLY AVE
KIMBERLY, WISCONSIN, 54136-1335

Dear Shaun Brill,

We are pleased to offer you the following proposal for your consideration.

One (1) Caterpillar Inc. Model: 420 Backhoe Loader with all standard equipment in addition to the specifications listed below:

STOCK NUMBER:
SERIAL NUMBER:
YEAR: 2024
SMU:

Thank you for your interest in Fabick Cat and Caterpillar products. Please know that we sincerely appreciate your consideration and look forward to answering any questions you may have moving forward. Feel free to contact me directly at any time.

Sincerely,

Trevor Quillico
Machine Sales Representative
Fabick Cat
trevor.quillico@fabickcat.com
(920) 371-4792

This quotation is valid for 30 days, after which time we reserve the right to re-quote.

"TO EVER SERVE OUR CUSTOMERS BETTER"



PRICING INFORMATION

FABICK PRICING	\$147,750.00
SOURCEWELL PRICING	\$168,875.46

OPTIONS	7 Year, 7000 Hour Powetrain+hydraulics+technology warranty	+\$4,550
	Rear hydraulic coupler instead of manual coupler	+\$4,200
	Rockland 4in1 bucket	+\$11,900
	CAT B8S Hammer	+\$11,100

EQUIPMENT PROTECTION PLAN

Standard Warranty: 12 Months, Unlimited Hours, Premier For new machines and work tools/attachments the warranty period is 12-months/unlimited hours, starting from date of delivery to the first user.

ESTIMATED DELIVERY

6 Months

FINANCE OPTIONS



Prepared For:
 Mr Shaun Brill
 Village Of Kimberly
 Kimberly Wisconsin 54136

 phone:920-788-7507
 SBrill@Vokimberlywi.gov

Dealer Information
 JCB OF GREEN BAY
 2140 HUTSON ROAD
 GREEN BAY WI 54303
 phone:(920) 494-8726
 fax:(920) 494-1440

Prepared By:
 Matt Schultz
 matt.schultz@fairchildequipment.com
 mobile:
 Quote Date: 12/19/23
 Valid Until: 01/18/24
 Quotation Reference: 400811

Model: 3CX 14HFCA

Qty: 1

Currency: USD1

Equipment Description

3CX-14 SUPER, 4WD, 2WS, 109 HP TIER 4 FINAL, 14 FT CENTERMOUNT BACKHOE WITH EXTRADIG DIPPER. ADVANCED EASY CONTROLS. 150A ALTERNATOR, 400 LBS COUNTERWEIGHT. INCLUDES 2 SPOOL LOADER VALVE, FLIP OVER FEET, INTERIOR MIRROR, FRONT AND REAR WORKLIGHTS, BATTERY ISOLATOR, TOOLBOX AND AUTOMATE (AUTOCHECK, AUTOIDLE, AUTODRIVE AND AUTOTHROTTLE).
 3CX-14 SUPER 109 HP CM MODEL PACK
 GALAXY INDUSTRIAL 14-17.5-10 AND 19.5L-24-12 POWERSHIFT + TL AND LSD, 4WD/2WS
 CAB WITH A/C HEATED AIR SUSPENSION SEAT, ENGINE BLOCK HEATER CAB, LIVELINK,
 HAMMER/BI-DIRECTIONAL PIPEWORK
 5/8 LOADER PIPEWORK RTD AND AUTO SRS FOR BI_DIRECTIONAL ENGLISH TERRITORY PACK
 HEADLIGHTS
 SEATBELT 3 IN
 LARGE EXTERIOR MIRRORS
 HYD EXCAVATOR QH (HMR/BI-DIRECTIONAL) WITH LIFTING KIT and 5T SHACKLE
 CODE REQUIRED FOR EXCAVATOR QUICKHITCHES
 DIRECT MOUNT 6 IN1 SHOVEL 92 IN, 1.3yd3, STANDARD DUTY WITH BOLT-ON-TOEPLATE
 BACKHOE BUCKET - 24 IN (600MM) HEAVY DUTY 5 TEETH
 HM380 HAMMER (INCLUDES HOSES, MOIL, GREASE GUN, GREASE CARTRIDGE, GAS BOTTLE AND CHARGING KIT)
 2 YEARS OR 2,000 HOURS FULL FACTORY WARRANTY

Equipment Total	\$ 138,388.44
Total Customer Sale Price	\$ 138,388.44

Notes: Investment quoted F.O.B. Delivered Kimberly, WI (plus applicable tax)
 Investment includes Dealer pre-delivery inspection and hydraulic testing.
 Investment includes operational overview of all operating features at customers location.
 PLEASE NOTE: UNIT quoted is an order out unit and is subject to availability and is subject to any manufacturers price increase. Customer will be given copy of factory letter with if any price increase or decrease is applicable. Customer will be responsible for percentage of increase or receive percentage decrease if applicable.

The above quote supersedes all preceding price quotes. Prices quoted are valid for 30 days from quote date.

Customer Acceptance: _____ Date _____

Dealer _____ Date _____





Village of Kimberly REQUEST FOR BOARD CONSIDERATION

ITEM DESCRIPTION: Bob's Heating and Cooling Site Plan

REPORT PREPARED BY: Greg Ulman - Director of Public Works/Zoning Administrator

REPORT DATE: January 22, 2024

ADMINISTRATOR'S REVIEW / COMMENTS:

No additional comments to this report MEM

See additional comments attached _____

EXPLANATION: Bob's Heating and Cooling located at 123 S. Railroad St., zoned B-1, is looking to upgrade their property to have a more appealing Village presence. Currently on their lot they have their main office building, a house, a garage in the rear of the lot, and their discarded parts behind the office building. They are looking to raze the house and the garage; add parking where the house currently stands, add a fenced area where the garage currently sits, as well as add a 1,980 sq ft. garage behind the office in place of the parts area. With these upgrades to the property, it will be more visually appealing for the residents who adjacent the property.

On 1/16/2024 the site plans went in front of the Plan Commission; discussion was had on snow plowing and removal, the number of employees parking on locations compared to the number of stalls available for customers, as well as how this heating and cooling shop is grandfathered into the current zoning.

Plan Commission approved recommendation of the the plans to the Village Board as presented.

RECOMMENDED ACTION: Approve the Bob's Heating and Cooling site plan as recommended by by Plan Commission on 1/16/2024.



**Village of Kimberly
Request for
Planning Commission Recommendation**

ITEM DESCRIPTION: Bob's Heating and Cooling Site Review

REPORT PREPARED BY: Greg Ulman

REPORT DATE: January 16, 2024

EXPLANATION: Bob's Heating and Cooling located at 123 S. Railroad St., zoned B-1, is looking to upgrade their property to have a more appealing Village presence. Currently on their lot they have their main office building, a house, a garage in the rear of the lot, and their discarded parts behind the office building. They are looking to raze the house and the garage; add parking where the house currently stands, add a fenced area where the garage currently sits, as well as add a 1,980 sq ft. garage behind the office in place of the parts area. With these upgrades to the property, it will be more visually appealing for the residents who adjacent the property.

- **Parking lot** - Existing house will be razed for a 10-stall handicap accessible parking lot. The parking lot will have a 12- and 10-inch storm sewer will have a sump bottom then will flow into our 24" main in the street. The entire site is less than 20,000 sq.ft, and does not fall into a stormwater management [plan \(§ 425-30Performance standards.\)](#)
- **Fenced in area** - It will be a traditional 8-foot-tall chain linked fence with privacy slots that will have an 8-foot-wide gated opening to house scrap parts and dumpsters.
- **New Garage** -- The 66' x 30' garage will have 12-foot walls with a roof pitch of 4-12. The exterior will be metal with a metal roof. It will have 2- 10' x 10' garage doors and two standard pedestrian doors. The garage will sit a minimum of 10 feet off the south property line and 10' 1" off the east property line.
- **Traffic Impact** -- The traffic impact will improve with this design, as customers and employees will no longer need to park on the street and can safely park in the parking lot, reducing potential incidents with passing traffic.

RECOMMENDED ACTION: To provide feedback and approve or deny the site plan.

Attachments: Site plans and narrative.

January 5, 2024

Mr. Greg Ulman, Director of Public Works / Zoning Administrator
VILLAGE OF KIMBERLY
515 W Kimberly Ave
Kimberly, WI 54136

RE: Bob's Quality Heating & Air Conditioning – Site Plan Application

Dear Mr. Ulman:

On behalf of Bob's Quality Heating & Air Conditioning, Robert E. Lee & Associates, Inc. is submitting the attached site plan review application documents. Bob's Quality Heating & Air Conditioning is proposing to construct a new 1,980 square foot garage/storage building in the southeast corner of their property at 123 S Railroad Street and reconstruct the paved parking lot. An existing residential home and small garage building have been demolished on site to make room for the proposed improvements. See the attached plan set for additional details. Effects on the adjoining properties will be minimal as this business is already located on this property and the use will remain the same. Significant changes in traffic generation are not anticipated being that the use is remaining the same as well.

Please review at your earliest convenience and let us know if you have any questions or comments.

Sincerely,

ROBERT E. LEE & ASSOCIATES, INC.



Aaron Breitenfeldt, PE
Sr. Project Manager

AJB

ENC.

Site Plan Review Checklist

Project:

Category	Item	Plan Element Information	Location, Plan, Sheets(PS) or Map	Comments
Civil Plans	1	Name of project/development;	Plan Sheet C	
	2	Location of project/development by street address, or CSM	Plan Sheet 2	
	3	Name and mailing address of developer/owner;	Plan Sheet 1	
	4	Name and mailing address of engineer/architect;	Plan Sheet 1	
	5	North point indicator;	All Plan Sheets	
	6	Scale;	All Plan Sheets	
	7	Boundary lines of property, with dimensions;	Plan Sheets 1 and 2	
	8	Location identification, and dimensions of existing and proposed:		
		a. Topographic contours at a minimum interval of two feet, and key spot elevations;	Plan Sheet 4	
		b. Adjacent streets and street right of ways, respective to the elevation of building first floor;	Plan Sheet 4	
		c. On site streets and street right of ways, and fire lanes;	Plan Sheets 1-4	
		d. Utilities and any easements.	Plan Sheet 3	
		e. All buildings and structures, existing & proposed to consider maximum development of the parcel if more than one structure could be located on the parcel;	Plan Sheet 2	
		f. Public Utilities: The location of sanitary and storm sewer lines and water mains;	Plan Sheet 3	
		g. Description of proposed system for drainage and a storm water plan showing existing and final grades.	Plan Sheet 4	
	h. Water bodies and wetlands;	n/a		
	i. All buildings and structures, existing & proposed to consider maximum development of the parcel if more than one structure could be located on the parcel;	Plan Sheet 2		
	j. Parking facilities;	Plan Sheet 2		
	k. Sidewalks, walkways, and driveways;	Plan Sheet 2		

Civil Plans		l. Off street loading areas and docks;	Plan Sheet 2	
		m. Fences and retaining walls;	Plan Sheet 2	
		n. All signs;	n/a	
		o. Exterior refuse collection areas and the required enclosure(s);	Plan Sheet 2	
		p. Exterior lighting;	n/a	
		q. Traffic flow on and off site.	Plan Sheet 2	
		r. Location of open space/green space;	Plan Sheet 2	
		s. Location and dimensions of proposed outdoor display areas;	n/a	
		t. Proposed circulation systems (pedestrian, bicycle, auto) by type, their connection to the existing network	Plan Sheet 2	
		u. The location of recreational and open space areas;	n/a	
		v. Site statistics, including:		
		i. Sq. Footage	Plan Sheet 2	
		ii. Percent site coverage;	Plan Sheet 2	
		iii. Percent open space; and green space	Plan Sheet 2	
	9	Erosion control plans;	Plan Sheets 4 and 6-11	
	10	Landscaping plan	n/a	
Architectural Plans	11	Architectural Plans of the proposed structures and buildings, including:		
		a. Elevation and Floor Plans;	A1.1, A2.0, A2.1, A3.0, A10.0	
		b. All dimensions;	A1.1, A2.0	
		c. Gross square footage of existing and proposed buildings and structures; and	Plan Sheet 2	
		d. Description of all exterior finish materials.	A2.0 and A2.1	



VILLAGE OF KIMBERLY
Site Review Application

Submit to:

Planning & Zoning
515 W. Kimberly Ave.
Kimberly WI 54136
920-788-7500

Applicant Information

Petitioner: Robert E. Lee & Associates, Inc. - Aaron Breitenfeldt, PE Date: 1/5/2024

Petitioner Address: 1250 CENTENNIAL CENTRE BLVD City: HOBART State: WI Zip: 54155

Telephone #: (920) 662-9641 Fax: () _____ email: abreitenfeldt@releeinc.com

Status of Petitioner (please check one): Owner Representative Tenant Prospective Buyer

Petitioner's Signature (required): *Aaron Breitenfeldt*

Owner Information

Owner(s): Bob's Quality Heating & Air Conditioning Date: 1/5/2024

Owner(s) Address: 123 S RAILROAD STREET City: KIMBERLY State: WI Zip: 54136

Telephone #: (920) 788-694 Fax: () _____ email: todd@bobsqualityheating.com

Ownership Status (please check one): Individual Trust Partnership Corporation

Property Owner Consent (required):

By signature hereon, I/We acknowledge that Village officials and/or employees may, in the performance of their functions and duties, enter upon the property to inspect or gather other information necessary to process this application. I also understand that all meeting dates are tentative and may be postponed by the Village for incomplete submissions or other administrative reasons.

Property Owner's Signature: *Todd Nenny* Date: 1-5-24

Site Information

Address/Location of Proposed Project: 123 RAILROAD STREET Zoning: B-1

Proposed Project or Use: PROPOSED GARAGE BUILDING AND PARKING LOT RECONSTRUCTION

Current or last Use of Property: HEATING AND COLLING OFFICE/SHOP

Land Uses Surrounding this Address: North: RESIDENTIAL

South: RESIDENTIAL

East: RESIDENTIAL

West: PUBLIC WORKS/MUNICIPAL BUILDING

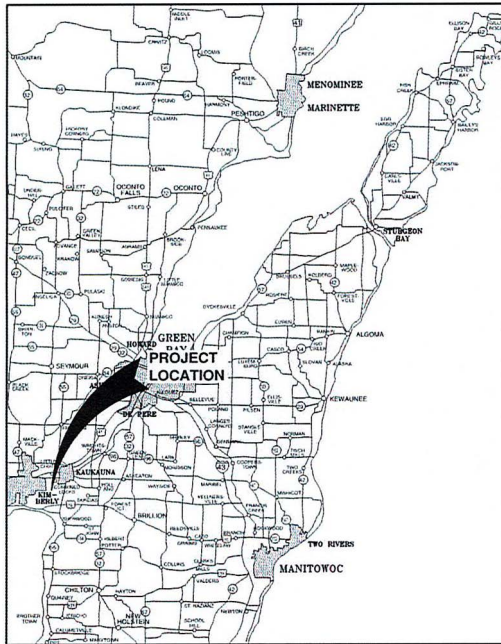
- It is recommended that the applicant meet with Village Department staff prior to submittal to review the project and submitted materials.
- Application Fees must be submitted with the application.

Submittal Requirements – Must accompany the application to be complete.

- A narrative of the proposed building or addition including:
 - Proposed use of the property
 - Existing use of the property
 - Effects on adjoining properties to include: noise, hours of operation, glare, odor, fumes, vibration, etc.
 - Compatibility of the proposed use with adjacent and other properties in the area.
 - Traffic generation
 - Any other information pertinent to adequate understanding of the intended use and its relation to nearby properties
- Complete site plans including:
 - Two (2) legible scaled and dimensioned drawings/prints of site plan and building elevations (when applicable.)
 - Two (2) 8 ½" x 11 (minimum) to 11" x 17" (maximum) reduction of the site plan and building elevations (when applicable.)
 - All existing and proposed buildings, structures, and paved areas, including building entrances, walks, drives, decks, patios, fences, walls.
 - Location of all outdoor storage and refuse disposal areas and the design and materials used for construction
 - Location and dimension of all on-site parking (and off-site parking provisions if they are to be employed
 - Location, height, design, illumination power and orientation of all exterior lighting on the property including a photometrics plan.
 - Location of all exterior mechanical equipment and utilities and elevations of proposed screening devices where applicable (i.e. visible from a public street or residential use or district). Mechanical equipment includes, but is not limited to; HVAC equipment, electrical transformers and boxes, exhaust flues, plumbing vents, gas regulators, generators.

BOB'S QUALITY HEATING EXPANSION FOR FOX CITIES BUILDERS VILLAGE OF KIMBERLY, OUTAGAMIE COUNTY, WISCONSIN

ATTENTION!
DOWNLOADED PLANS ARE NOT SCALEABLE. NEITHER THE OWNER OR THE ENGINEER SHALL BE HELD RESPONSIBLE FOR THE SCALE OR PRINT QUALITY OF DOWNLOADED PLANS. ONLY PRINTED PLANS FROM BLUE PRINT SERVICE CO., INC. SHALL BE CONSIDERED TO BE SCALEABLE PLANS.



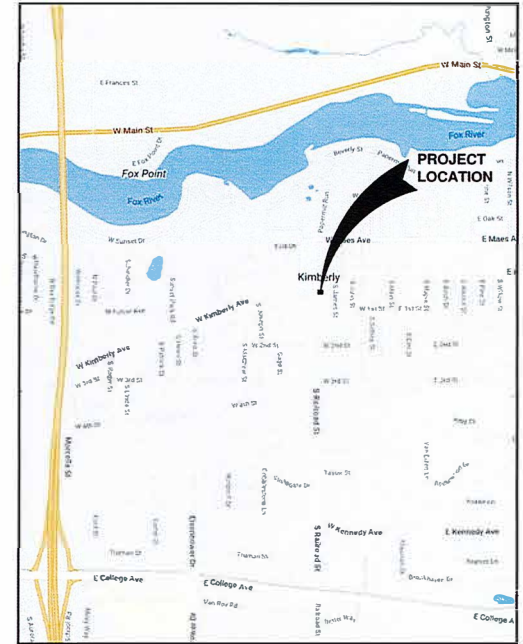
VICINITY MAP

NOTE:
EXISTING UTILITIES SHOWN ON PLANS ARE APPROXIMATE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING EXACT LOCATIONS AND ELEVATIONS OF ALL UTILITIES. WHETHER SHOWN OR NOT, FROM THE OWNERS OF THE RESPECTIVE UTILITIES. ALL UTILITY OWNERS SHALL BE NOTIFIED FOR LOCATES BY THE CONTRACTOR 72 HOURS PRIOR TO EXCAVATION.

NOTE:
ALL EROSION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO CONSTRUCTION AND SHALL CONFORM TO THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES CONSTRUCTION SITE EROSION CONTROL AND TECHNICAL STANDARDS.

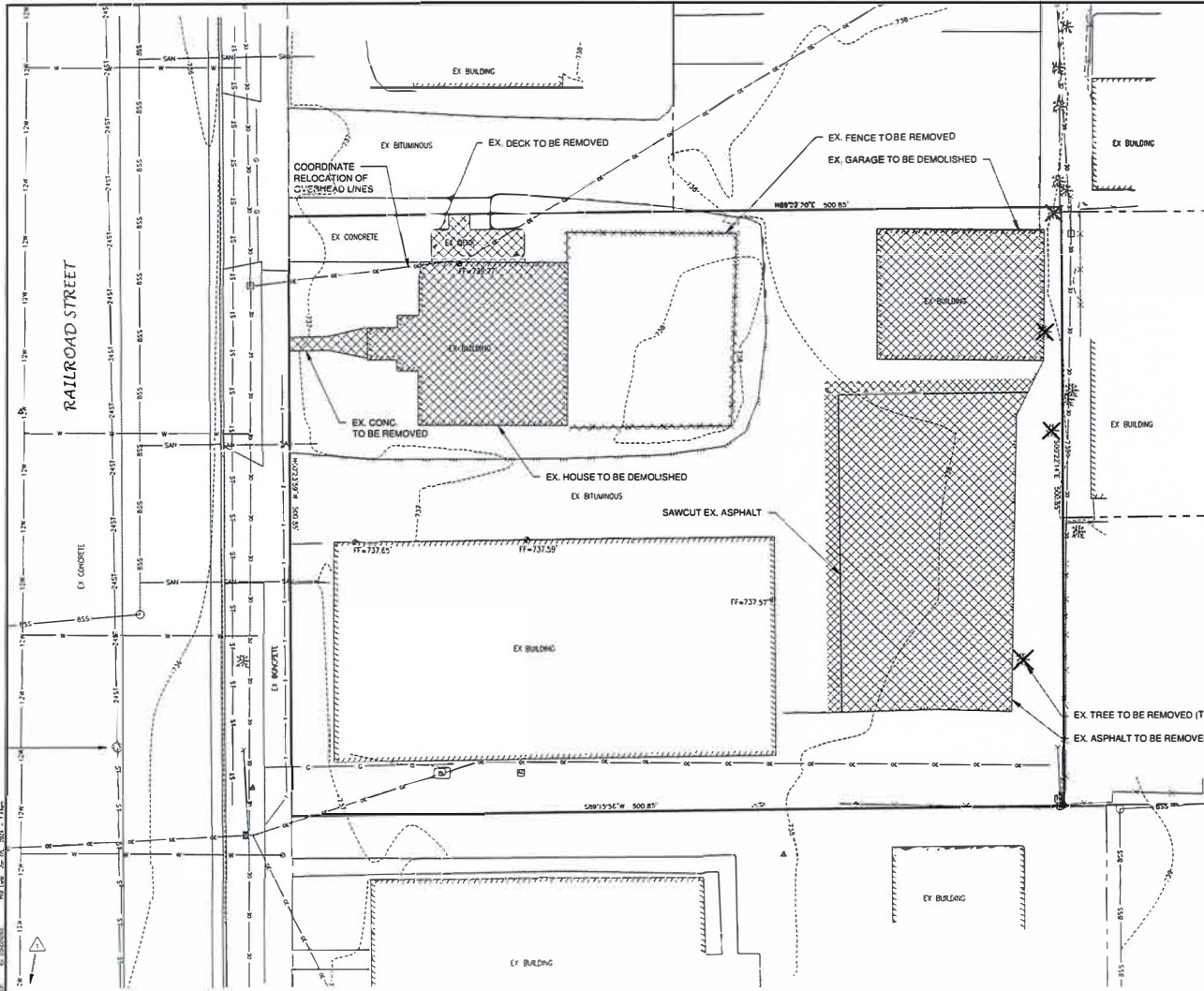
INDEX TO DRAWINGS

SHT. NO.	DESCRIPTION
C	LOCATION MAPS AND INDEX TO DRAWINGS
1	EXISTING SITE CONDITIONS
2	SITE PLAN
3	UTILITY PLAN
4	GRADING PLAN AND EROSION CONTROL PLAN
5	MISCELLANEOUS DETAILS
6	EROSION CONTROL - INLET PROTECTION TYPES A, B, C AND D
7	EROSION CONTROL - INLET PROTECTION TYPE D-HR AND TYPE D-M
8	EROSION CONTROL - SHEET FLOW DETAILS
9	EROSION CONTROL - TRACKOUT CONTROL PRACTICES
10	EROSION CONTROL - EROSION MAT SLOPE APPLICATION DETAILS
11	EROSION CONTROL - EROSION MAT CHANNEL APPLICATION DETAILS



LOCATION MAP

NO.	DATE	APPROV.	REVISION	NO.	DATE	APPROV.	REVISION	DRAWN BY	CHECKED	DESIGNED	LAB	DATE	FILE	JOB NO.	SHEET NO.
BOB'S QUALITY HEATING EXPANSION FOR FOX CITY BUILDERS VILLAGE OF KIMBERLY OUTAGAMIE COUNTY, WISCONSIN												LOCATION MAPS	REL Robert E. Lee & Associates, Inc. 1250 Central Centre Blvd Hobart, WI 920-662-9641 rleeinc.com	C	



LEGEND

<ul style="list-style-type: none"> ○ FIRE HYDRANT ⊕ WATER VALVE/CURB STOP ⊙ WATER MANHOLE ⊕ REDUCER/INCREASER ○ SANITARY MANHOLE ⊕ AIR RELIEF MANHOLE ⊙ STORM MANHOLE ⊕ OPEN STORM MANHOLE ⊙ STORM INLET ⊕ STORM INLET MANHOLE ⊙ TANK COVER ⊕ SOIL BORING ⊕ POST ⊕ IRON PIPE/ROD ⊕ PK NAIL 	<ul style="list-style-type: none"> ⊕ POWERPOLE ⊕ POWER POLE W/ GUY WIRE ⊕ LIGHTPOLE ⊕ TRAFFIC SIGNAL POLE ⊕ ELECTRIC MANHOLE ⊕ ELECTRIC METER ⊕ TELEPHONE MANHOLE ⊕ TELEPHONE PEDESTAL ⊕ CABLE TV MANHOLE ⊕ CABLE TV PEDESTAL ⊕ GAS VALVE ⊕ GASMETER ⊕ MAILBOX ⊕ SIGN ● BOLLARD 	<ul style="list-style-type: none"> ⊕ DECIDUOUS TREE ⊕ CONIFEROUS TREE ⊕ BUSH ⊕ RIP RAP ⊕ CULVERT ⊕ WETLANDS ⊕ HANDICAP PARKING
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<ul style="list-style-type: none"> — EDGE OF ASPHALT — EDGE OF GRAVEL — CURB & GUTTER — TREE/BRUSH LINE — CONTOUR LINE — RETAINING WALL — GUARDRAIL — FENCE 	<ul style="list-style-type: none"> — 855 — 855 — SANITARY SEWER (SIZE NOTED) — 474 — 474 — FORCEMAIN (SIZE NOTED) — 1057 — 1057 — STORM SEWER (SIZE NOTED) — 69 — 69 — WATERMAIN (SIZE NOTED) — C — C — GAS LINE — 01 — 01 — OVERHEAD TELEPHONE LINE — T — T — UNDERGROUND TELEPHONE LINE — 0C — 0C — OVERHEAD ELECTRIC LINE — E — E — UNDERGROUND ELECTRIC LINE — 0TV — 0TV — OVERHEAD CABLE TV LINE — TV — TV — CABLE TV LINE — FO — FO — FIBER OPTIC LINE — — — — — PROPERTY LINE — — — — — EASEMENT LINE — — — — — BUILDING SETBACK LINE — — — — — SECTION LINE
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<ul style="list-style-type: none"> GR. GRAVEL BIT. BITUMINOUS ASPH ASPHALT CONC CONCRETE SW SIDEWALK BLDG BUILDING HSE HOUSE PE PEDestal PP POWER POLE LP LIGHTPOLE BM BENCHMARK 	<ul style="list-style-type: none"> WM WATERMAIN HYD. HYDRANT WV WATER VALVE SN SANITARY SEWER MH MANHOLE ST STORM SEWER CB CATCH BASIN TELE TELEPHONE ELEC ELECTRIC TV TELEVISION STA. STATION 	<ul style="list-style-type: none"> VPC VERTICAL POINT OF CURVATURE VPI VERTICAL POINT OF INTERSECTION VPT VERTICAL POINT OF TANGENCY PC POINT OF CURVATURE PI POINT OF INTERSECTION PT POINT OF TANGENCY R RADIUS EX EXISTING PR PROPOSED EOB END OF RADIUS BOC BACK OF CURB 	<ul style="list-style-type: none"> B-B BACK TO BACK (OF CURB) F-F FACE TO FACE (OF CURB) R/W RIGHT OF WAY T/C TOP OF CURB F/L FLOW LINE C/L CENTERLINE R/L REFERENCE LINE INV INVERT CMP CORRUGATED METAL PIPE RCP REINFORCED CONCRETE PIPE CULV CULVERT
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UTILITY INFORMATION:

UTILITIES PRESENT:
VILLAGE OF KIMBERLY, WE ENERGIES, AMERICAN TRANSMISSION CO., AT&T, NET LEC, TDS METROCOM, TIME WARNER.

UTILITIES SHOWN ON THIS MAP ARE BASED ON LOCATES FROM:

DIGGERS HOTLINE TICKET NUMBER 2023-430745 & 2023-430748 11/09/2023 AND RECORD UTILITY PLAN DOCUMENTS. UTILITY LINE LOCATIONS SHOULD BE VERIFIED PRIOR TO ANY DIGGING. THIS SITE MAY CONTAIN BURIED UTILITIES NOT IDENTIFIED ON THIS MAP.

<p>DIGGERS HOTLINE • 1-800-242-8511</p> <p>WATER/SANITARY/STORM SEWER: DEPARTMENT OF PUBLIC WORKS VILLAGE OF KIMBERLY 515W. KIMBERLY AVENUE KIMBERLY, WI 54136</p> <p>(920) 788-7500</p>	<p>GAS & ELECTRIC: WE ENERGIES 800 S. LYNNDALE DR. APPLETON, WI 54914</p> <p>(800) 242-9137</p>	<p>ELECTRIC: AMERICAN TRANSMISSION CO. 801 O'KEEFE RD. DEPERE, WI 54115</p> <p>(920) 338-6582</p>
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<p>TELECOMMUNICATIONS: AT & T / SBC 205 S. JEFFERSON ST. GREEN BAY, WI 53001</p> <p>(920) 433-4147</p>	<p>TELECOMMUNICATIONS: NET LEC / NSIGHT / CELLCOM C/O MI TECH SERVICES 221 W. WASHINGTON ST. APPLETON, WI 54911</p> <p>(920) 739-7659</p>	<p>TELECOMMUNICATIONS: TDS METROCOM / TDS TELECOM W6174 AEROTECH DR. SUITE A APPLETON, WI 54914</p> <p>(920) 892-3342</p>	<p>TELECOMMUNICATIONS: TIME WARNER 3520 DESTINATION DR. APPLETON, WI 54195</p> <p>(920) 831-9249</p>
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- ### DEMOLITION NOTES
- EXISTING ASPHALT AND BASE COURSE MAY BE PULVERIZED AND STOCKPILED ON SITE FOR FUTURE USE.
 - EXISTING GAS, ELECTRIC, CABLE TELEVISION AND TELEPHONE TO BE REMOVED AND/OR RELOCATED BY OTHERS. WORK SHALL BE COORDINATED BY GENERAL CONTRACTOR.
 - ALL MISCELLANEOUS STRUCTURES SHALL BE REMOVED.
 - DRIVEWAY OPENINGS SHALL BE REMOVED AND CURB OPENINGS SHALL BE CLOSED IN ACCORDANCE WITH STANDARD DETAIL "CURB REMOVAL". SEE DETAIL SHEETS.

LEGEND

	TO BE DEMOLISHED
	TREE/SHRUB TO BE REMOVED

OWNER INFORMATION:

BOB'S QUALITY HEATING & AIR CONDITIONING
123 S RAILROAD STREET
KAUKAUNA, WI 54136
(920) 788-5094
CONTACT: TODD NENNING

CONTRACTOR INFORMATION:

FOX CITIES BUILDERS
N7315 COUNTY ROAD Y
SEYMOUR, WI 54155
(920) 8339545
CONTACT: MIKE VAN VREEDE

BENCHMARK		BENCHMARK ESTABLISHED BY: ROBERT E LEE & ASSOCIATES, INC.	
PLEASE VERIFY BENCHMARKS FOR ACCURACY.			
NO.	DESCRIPTION	EL.	XL.
1	TOP OF #10 BOLT @ NE CORNER FOUNDATION OF TRANSMISSION TOWER	737.94	

TO OBTAIN LOCATION OF PARTICIPANTS UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN

WIS. STATUTE 182.0175 (1974) REQUIRES MIN. OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE.

NO.	DATE	APPROV.	REVISION	NO.	DATE	APPROV.	REVISION	DESIGN

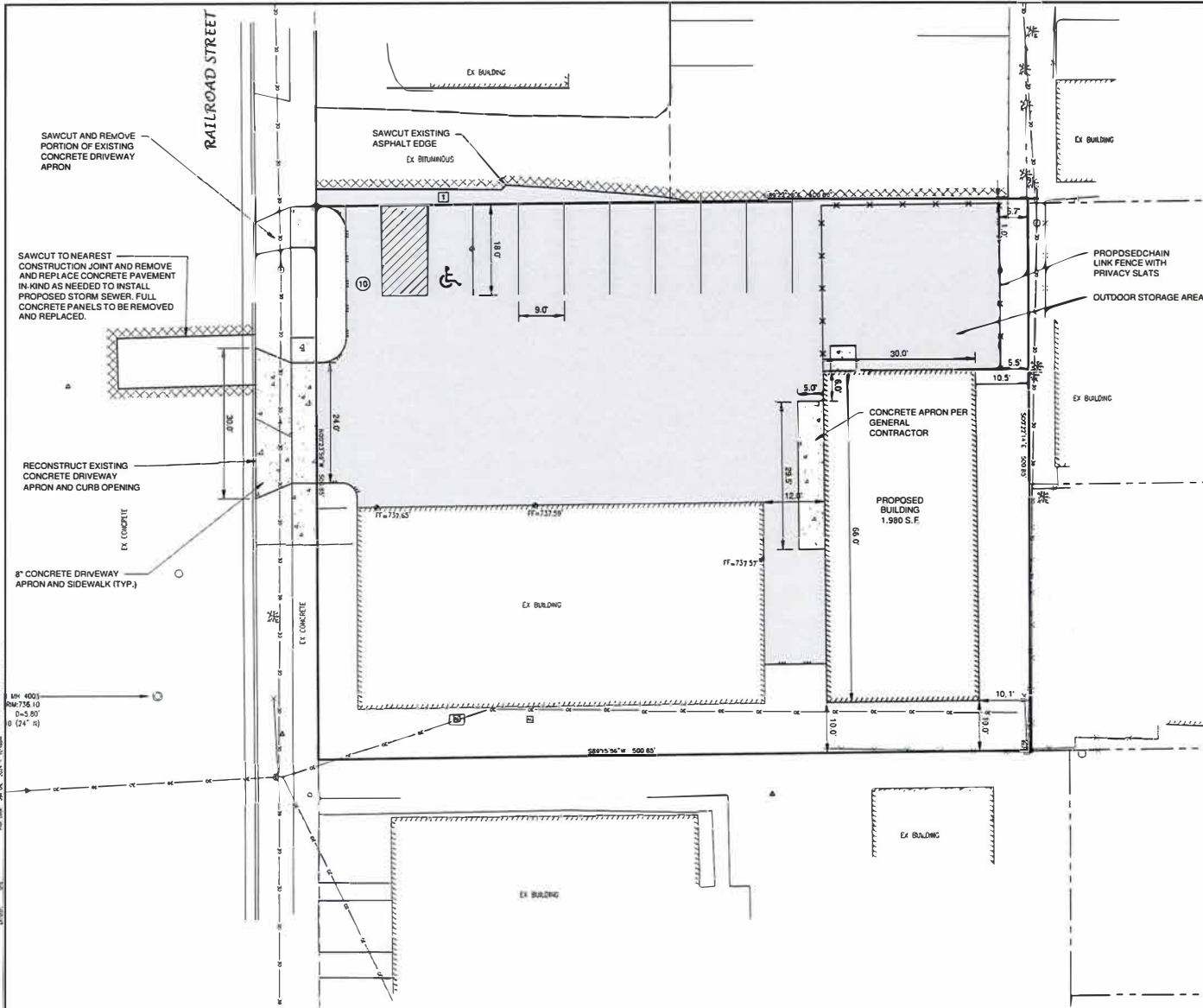
BOB'S QUALITY HEATING EXPANSION FOR
FOX CITIES BUILDERS
VILLAGE OF KIMBERLY
OUTAGAMIE COUNTY, WISCONSIN

EXISTING SITE CONDITIONS AND DEMOLITION PLAN

DATE	11/23/24
FILE	240101
JOB NO.	240101
REV. NO.	01

1250 Centennial Centre Blvd | Hobart, WI | 920-661-9641 | rel@rel.com

SHEET NO. 1



- LEGEND**
- CONCRETE PAVEMENT
 - ASPHALT PAVEMENT (LIGHT) (S.F.)
 - ASPHALT PAVEMENT (HEAVY) (S.F.)
 - LANDSCAPE AREA
 - GREEN SPACE
 - PROPOSED 18" STANDARD CURB AND GUTTER
 - PROPOSED 18" STANDARD SHEDDING CURB AND GUTTER
 - PROPOSED 18" MOUNTABLE CURB AND GUTTER
 - PROPOSED 18" MOUNTABLE SHEDDING CURB AND GUTTER
 - TRAFFIC FLOW ARROW
 - HANDICAPPED PARKING
 - INDICATES NUMBER OF PARKING STALLS

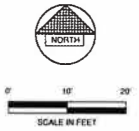
NOTE: ALL DIMENSIONS ARE TO THE FACE OF CURB, UNLESS NOTED OTHERWISE

NOTE
ALL DISTURBED AREAS SHALL BE TOPSOILED TO A DEPTH OF 6 INCHES, SEEDED AND MULCHED. AREA TO BE RAKED FREE OF STONES AND CLUMPS.

PARKING DATA
TOTAL PARKING STALLS PROVIDED = 10
HANDICAP ACCESSIBLE PARKING STALLS = 1

SITE DATA
TOTAL AREA = 0.35 ACRES, 15,450 S.F.
BUILDING AREA = 0.12 ACRES, 5,200 S.F. (33.6%)
SIDEWALK/PARKING LOT AREA = 0.17 ACRES, 7,363 S.F. (47.7%)
GREEN SPACE = 0.06 ACRES, 2,887 S.F. (18.7%)

ZONING
B-1 GENERAL BUSINESS DISTRICT
PARCEL NO.
250079400



NO.	DATE	APPROV.	REVISION	NO.	DATE	APPROV.	REVISION

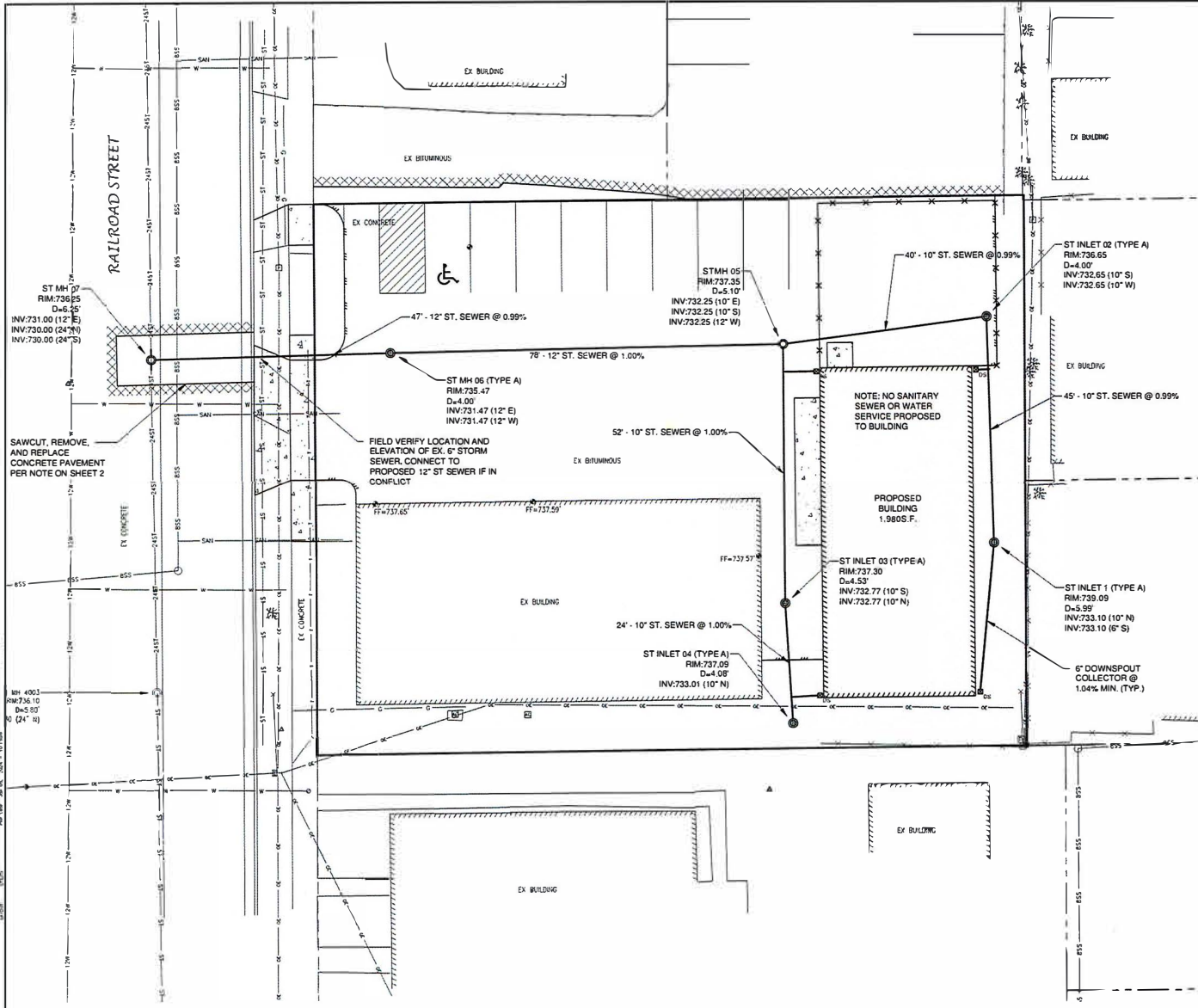
BOB'S QUALITY HEATING EXPANSION FOR
FOX CITIES BUILDERS
VILLAGE OF KIMBERLY
OUTAGAMIE COUNTY, WISCONSIN

SITE PLAN

DATE	
FILE	
JOB NO.	
DRAWN BY	
CHECKED BY	
DESIGNED BY	

REL Robert E. Lee & Associates, Inc.
1250 Centennial Centre Blvd | Hobart, WI | 920-662-9641 | rel@relc.com

SHEET NO. **2**

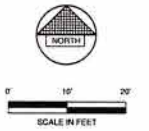


LEGEND

	PROPOSED SANITARY SEWER
	EXISTING SANITARY SEWER (SIZE NOTED)
	PROPOSED STORM SEWER
	EXISTING STORM SEWER (SIZE NOTED)
	PROPOSED WATERMAIN
	EXISTING WATERMAIN (SIZE NOTED)

	PROPOSED FIRE HYDRANT
	EXISTING FIRE HYDRANT
	PROPOSED WATER VALVE/CURB STOP
	EXISTING WATER VALVE/CURB STOP
	PROPOSED WATER MANHOLE
	EXISTING WATER MANHOLE
	PROPOSED SANITARY MANHOLE
	EXISTING SANITARY MANHOLE
	PROPOSED LIFT STATION
	EXISTING LIFT STATION
	PROPOSED TRACER WIRE SIGNAL CONNECTION BOX
	EXISTING TRACER WIRE SIGNAL CONNECTION BOX
	PROPOSED CLEANOUT
	EXISTING CLEANOUT
	PROPOSED STORM MANHOLE
	EXISTING STORM MANHOLE
	PROPOSED STORM CATCH BASIN
	EXISTING STORM CATCH BASIN
	PROPOSED STORM INLET
	EXISTING STORM INLET
	PROPOSED STORM INLET MANHOLE
	EXISTING STORM INLET MANHOLE
	PROPOSED YARD DRAIN
	EXISTING YARD DRAIN
	PROPOSED STANDPIPE
	EXISTING STANDPIPE
	PROPOSED ROOF DOWNSPOUT
	EXISTING ROOF DOWNSPOUT
	PROPOSED DISCHARGE STRUCTURE
	EXISTING DISCHARGE STRUCTURE

- NOTE**
1. A MINIMUM OF 6.5 FEET OF COVER SHALL BE MAINTAINED OVER ALL WATERMAIN.
 2. SANITARY SEWER, WATERMAIN AND STORM SEWER SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CURRENT STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN AND ADMINISTRATIVE CODE CHAPTERS SPS 381-387.
 3. FIELD VERIFY LOCATION OF EXISTING UTILITIES. IF EXISTING LOCATIONS DIFFER FROM WHAT IS INDICATED ON THE PLANS, CONTACT ENGINEER, PRIOR TO CONTINUED WORK.
 4. ALL SANITARY SEWER, STORM SEWER AND WATER SERVICES / MAINS SHALL BE PROVIDED WITH TRACER WIRE OR OTHER METHOD TO BE LOCATED.
 5. EXISTING GAS, ELECTRIC, CABLE TELEVISION AND TELEPHONE TO BE REMOVED AND/OR RELOCATED BY OTHERS. WORK SHALL BE COORDINATED BY GENERAL CONTRACTOR.



NO.	DATE	APPROV.	REVISION	NO.	DATE	APPROV.	REVISION

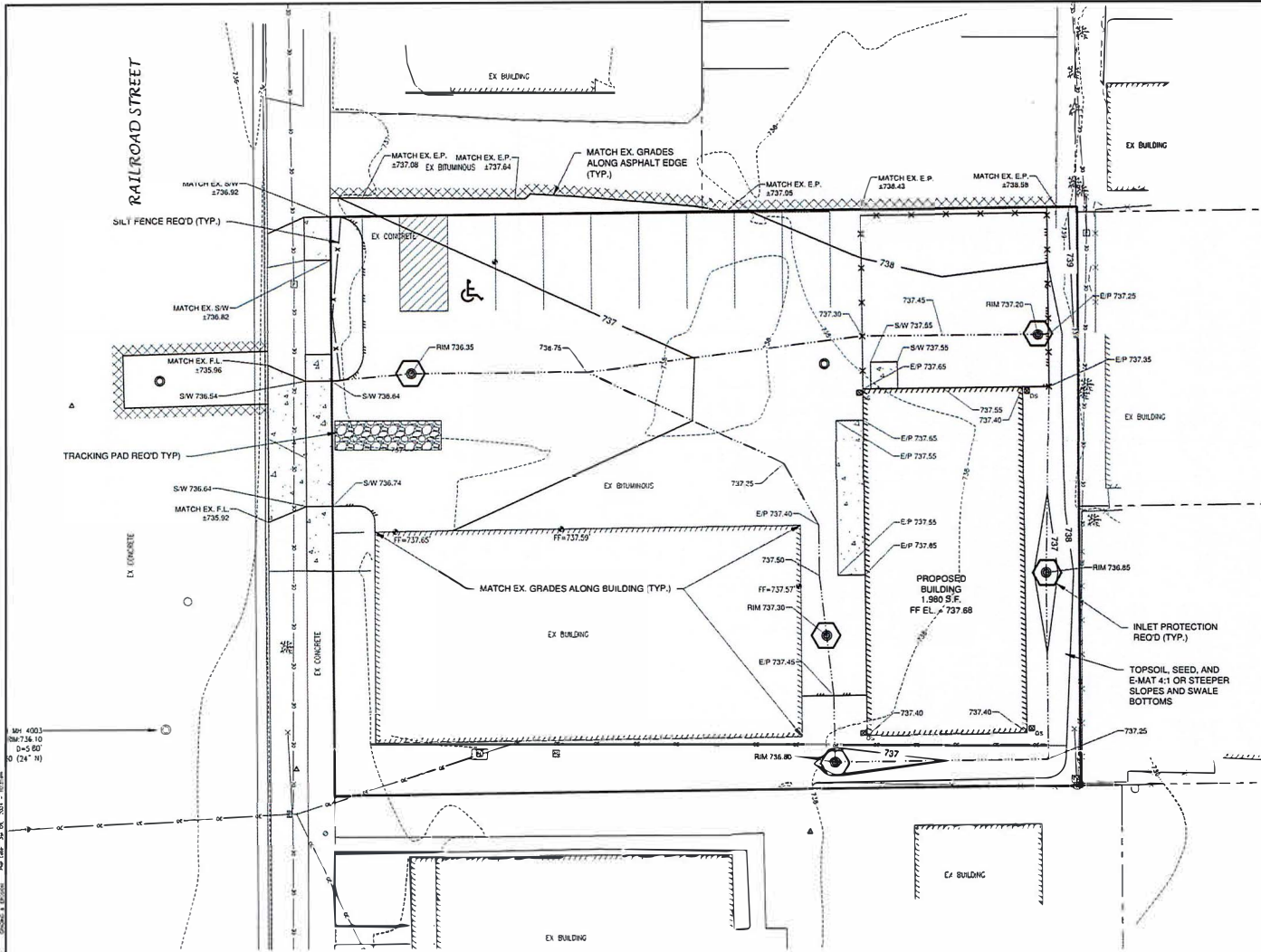
BOB'S QUALITY HEATING EXPANSION FOR
 FOX CITIES BUILDERS
 VILLAGE OF KIMBERLY
 OUTAGAMIE COUNTY, WISCONSIN

UTILITY PLAN

DATE	12/20/21
TITLE	UTILITY PLAN
JOB NO.	2011014

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SHEET NO.
3



LEGEND

	T/C 999.99 TOP OF CURB ELEVATION
	F/L 888.88 FLOW LINE ELEVATION
	S/W 666.66 TOP OF SIDEWALK ELEVATION
	E/P 555.55 EDGE OF PAVEMENT ELEVATION
	R/W 444.44 TOP OF RETAINING WALL ELEVATION
	333.33 GROUND ELEVATION
	--- DRAINAGE SWALE
	--- DRAINAGE DIVIDE
	--- FLOW ARROW
	SILT FENCE (PER WDNR TECHNICAL STANDARD 1056)
	DITCH CHECK (PER WDNR TECHNICAL STANDARD 1062)
	TRACKING PAD (PER WDNR TECHNICAL STANDARD 1057)
	EROSION MAT (PER WDNR TECHNICAL STANDARD 1053)
	INLET PROTECTION (PER WDNR TECHNICAL STANDARD 1060)

EROSION CONTROL
 ALL EROSION CONTROL PRACTICES INDICATED ON THIS PLAN ARE APPROXIMATE LOCATIONS ONLY. THE ACTUAL SITE MAY REQUIRE MORE OR LESS EROSION CONTROL DEPENDING ON THE CURRENT CONDITION OF THE SITE.

1. SILT FENCE IS REQUIRED DOWNSLOPE OF ANY DISTURBED LAND THAT MAY CARRY SEDIMENTS OFF SITE.
2. A TRACKING PAD IS REQUIRED AT ANY INGRESS/EGRESS LOCATION, WHERE SEDIMENT MAY BE TRACKED OFF-SITE.
3. PROPER INLET PROTECTION SHALL BE USED DEPENDING ON THE INLET TYPE.
4. ALL NECESSARY SITE DEWATERING SHALL BE PERFORMED IN ACCORDANCE WITH WDNR TECHNICAL STANDARD 1061.

MH 4003
 20x7.26x10
 0-4.50'
 (24" N)

NO.	DATE	APPROV.	REVISION	NO.	DATE	APPROV.	REVISION

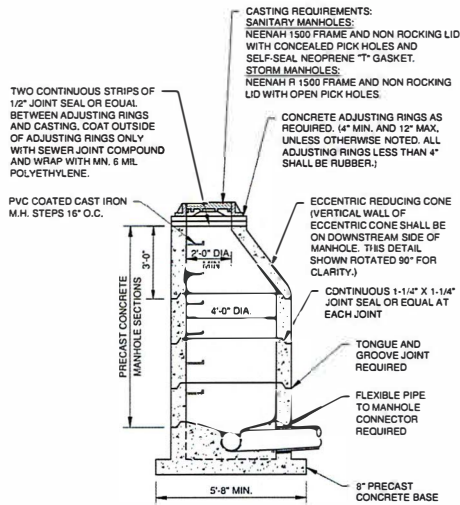
**BOB'S QUALITY HEATING EXPANSION FOR
 FOX CITIES BUILDERS
 VILLAGE OF KIMBERLY
 OUTAGAMIE COUNTY, WISCONSIN**

GRADING AND EROSION CONTROL PLAN

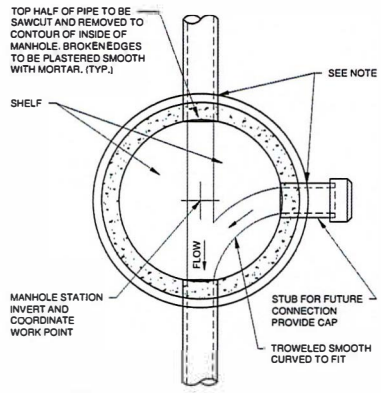
DATE	12/20/23
FILE	23111800
JOB NO.	2301-004

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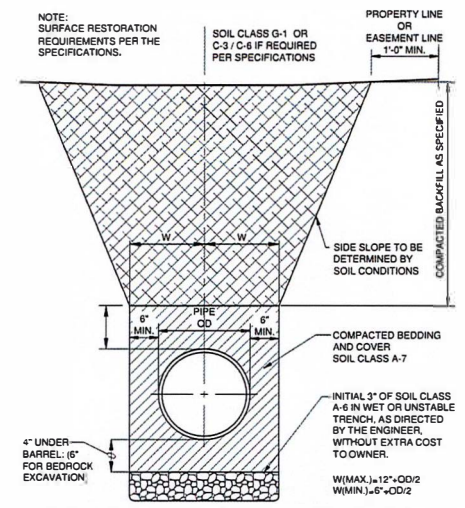
SHEET NO.
4



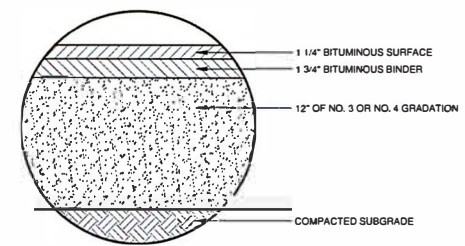
**SANITARY AND STORM STANDARD MANHOLE
8"-24" (INCLUSIVE)**



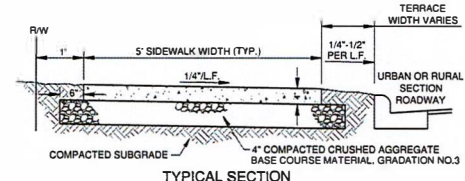
**MANHOLE BASE PLAN
8" - 60" (INCLUSIVE)**



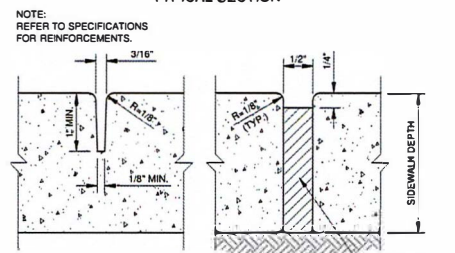
**HDPE /PVC SEWER, WATERMAIN AND FORMCEAIN
BEDDING AND TRENCH DETAIL**



LIGHT DUTY ASPHALT PAVEMENT

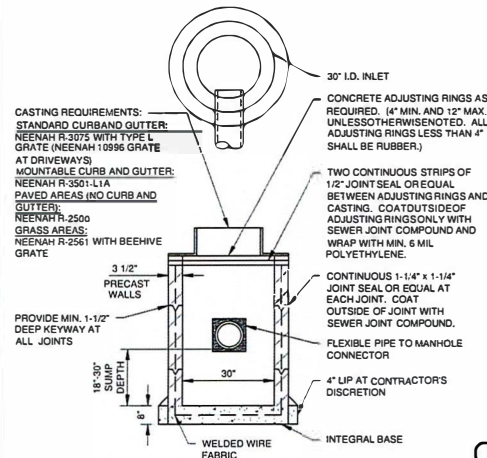


TYPICAL SECTION



WALK WIDTH	CONTRACTION JOINT SPACING		EXPANSION JOINT SPACING
	TRANSVERSE	LONGITUDINAL	
4'	4'	NOT RECD	100' MAX.
5'	5'	NOT RECD.	100' MAX.
6'	6'	NOT RECD.	100' MAX.
8'	4'	4'	100' MAX.
10'	5'	5'	100' MAX.
12'	6'	6'	100' MAX.

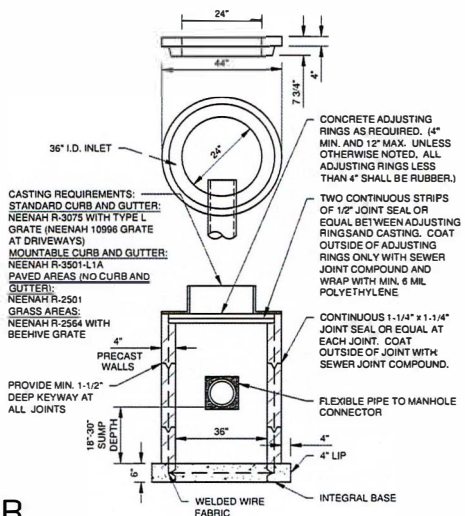
SIDEWALK DETAIL



ALL PRECAST INLET UNITS SHALL CONFORM TO THE PERTINENT REQUIREMENTS OF AASHTO DESIGNATION M 199

TYPE 'A' STORM INLET

OR



ALL PRECAST INLET UNITS SHALL CONFORM TO THE PERTINENT REQUIREMENTS OF AASHTO DESIGNATION M 199

TYPE 'A' STORM INLET

NO.	DATE	APPROV.	REVISION	NO.	DATE	APPROV.	REVISION	DRAWN	DATE
								CHECKED	
								DESIGNED	
								AW	

BOB'S QUALITY HEATING EXPANSION FOR
 FOX CITIES BUILDERS
 VILLAGE OF KIMBERLY
 OUTAGAMIE COUNTY, WISCONSIN

MISCELLANEOUS DETAILS

DATE: 08/20/2018
 FILE: 20180402T
 JOB NO.: 180102

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INLET PROTECTION NOTES:

INLET PROTECTION DEVICES SHALL BE IN ACCORDANCE WITH WDNR TECHNICAL STANDARD 1060, STORM DRAIN INLET PROTECTION FOR CONSTRUCTION SITES.

MANUFACTURED ALTERNATIVES APPROVED AND LISTED ON THE WDOT PRODUCT ACCEPTABILITY LIST MAY BE SUBSTITUTED.

WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED ON THE GEOTEXTILE FABRIC DOES NOT FALL INTO THE INLET. ANY MATERIAL FALLING INTO THE INLET SHALL BE REMOVED IMMEDIATELY.

MAINTENANCE NOTES:

WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED IN THE FABRIC DOES NOT FALL INTO THE STRUCTURE. MATERIAL THAT HAS FALLEN INTO THE INLET SHALL BE IMMEDIATELY REMOVED.

INSTALLATION NOTES:
TYPE "B" AND "C"

TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3" OF THE GRATE.

DEMONSTRATE A METHOD OF MAINTENANCE, USING A SEWN FLAP, HAND HOLDS OR OTHER METHOD TO PREVENT ACCUMULATED SEDIMENT FROM ENTERING THE INLET.

TYPE "D"

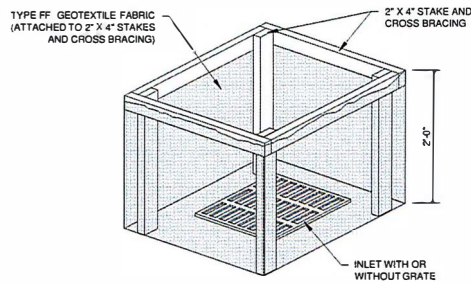
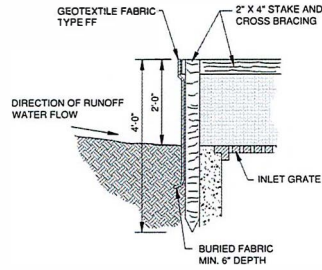
DO NOT INSTALL INLET PROTECTION TYPE D IN INLETS SHALLOWER THAN 30" MEASURED FROM THE BOTTOM OF THE INLET TO THE TOP OF THE GRATE.

TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3" OF THE GRATE.

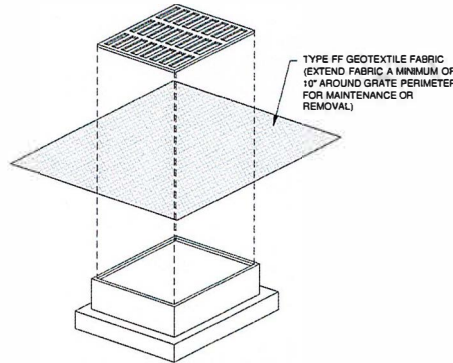
THE INSTALLED BAG SHALL HAVE A MINIMUM SIDE CLEARANCE, BETWEEN THE INLET WALLS AND THE BAG, MEASURED AT THE BOTTOM OF THE OVERFLOW HOLES, OF 3". WHERE NECESSARY, CATCH THE BAG, USING PLASTIC ZIP TIES, TO ACHIEVE THE 3" CLEARANCE, THE TIES SHALL BE PLACED AT THE MAXIMUM OF 4" FROM THE BOTTOM OF THE BAG.

NOTES:

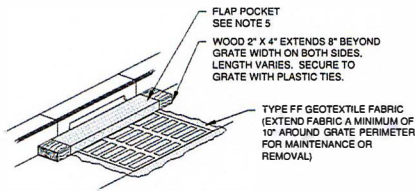
1. TAPER BOTTOM OF BAG TO MAINTAIN THREE INCHES OF CLEARANCE BETWEEN THE BAG AND THE STRUCTURE, MEASURED FROM THE BOTTOM OF THE OVERFLOW OPENINGS TO THE STRUCTURE WALL.
2. GEOTEXTILE FABRIC TYPE FF FOR FLAPS, TOP AND BOTTOM OF THE OUTSIDE OF FILTER BAG. FRONT, BACK AND BOTTOM OF FILTER BAG BEING ONE PIECE.
3. FRONT LIFTING FLAP IS TO BE USED WHEN REMOVING AND MAINTAINING INLET BAG.
4. SIDE FLAPS SHALL BE A MAXIMUM OF TWO INCHES LONG. FOLD THE FABRIC OVER AND REINFORCE WITH MULTIPLE STITCHES.
5. FLAP POCKETS SHALL BE LARGE ENOUGH TO ACCEPT WOOD 2" X 4". THE REBAR, STEEL PIPE, OR WOOD SHALL BE INSTALLED IN THE REAR FLAP AND SHALL NOT BLOCK THE TOP HALF OF THE CURB FACE OPENING.



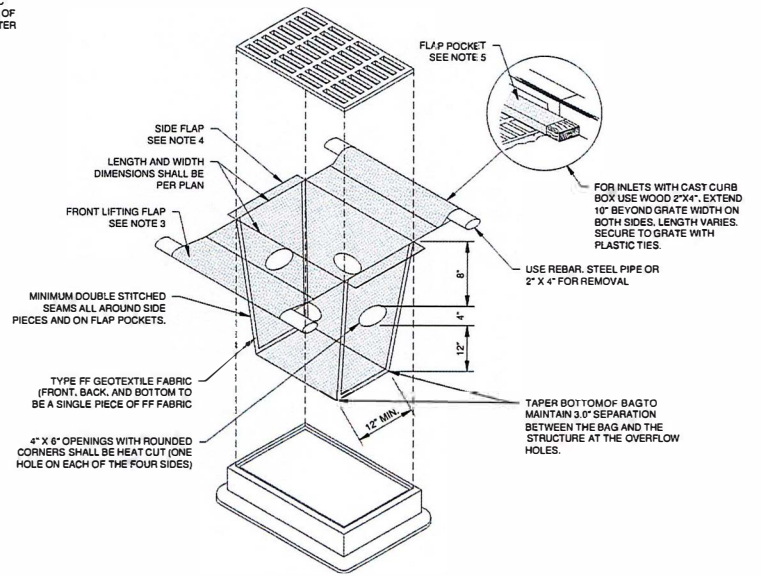
INLET PROTECTION, TYPE A



**INLET PROTECTION, TYPE B
(WITHOUT CURB BOX)**
(CAN BE INSTALLED IN ANY INLET WITHOUT A CURB BOX)



**INLET PROTECTION, TYPE C
(WITH CURB BOX)**



**INLET PROTECTION, TYPE D
(CAN BE INSTALLED IN INLETS WITH OR WITHOUT CURB BOXES)**

NO.	DATE	APPROV.	REVISION	NO.	DATE	APPROV.	REVISION	DRAWN	CHECKED	DESIGNED

BOB'S QUALITY HEATING EXPANSION FOR
FOX CITIES BUILDERS
VILLAGE OF KIMBERLY
OUTAGAMIE COUNTY, WISCONSIN

EROSION CONTROL
INLET PROTECTION TYPES A, B, C AND D

DATE	12-20-2019
FILE	10110466C
JOB NO.	
DATE	

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SHEET NO.
6

NOTES:

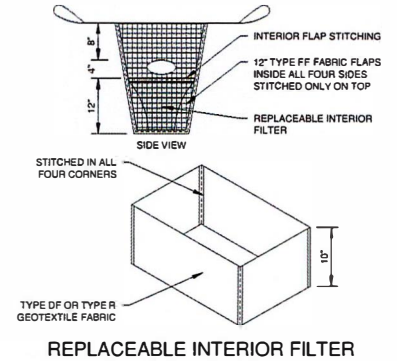
1. TAPER BOTTOM OF BAG TO MAINTAIN THREE INCHES OF CLEARANCE BETWEEN THE BAG AND THE STRUCTURE, MEASURED FROM THE BOTTOM OF THE OVERFLOW OPENINGS TO THE STRUCTURE WALL.
2. GEOTEXTILE FABRIC TYPE FF FOR FLAPS AND TOP HALF OF FILTER BAG. GEOTEXTILE FABRIC TYPE HR FOR BOTTOM HALF OF FILTER BAG. FRONT, BACK AND BOTTOM OF FILTER BAG BEING ONE PIECE.
3. FRONT LIFTING FLAP IS TO BE USED WHEN REMOVING AND MAINTAINING FILTER BAG.
4. SIDE FLAPS SHALL BE A MAXIMUM OF TWO INCHES LONG. FOLD THE FABRIC OVER AND REINFORCE WITH MULTIPLE STITCHES.
5. FLAP POCKETS SHALL BE LARGE ENOUGH TO ACCEPT WOOD 2" X 4". THE REBAR, STEEL PIPE, OR WOOD SHALL BE INSTALLED IN THE REAR FLAP AND SHALL NOT BLOCK THE TOP HALF OF THE CURB FACE OPENING.

MAINTENANCE NOTES:

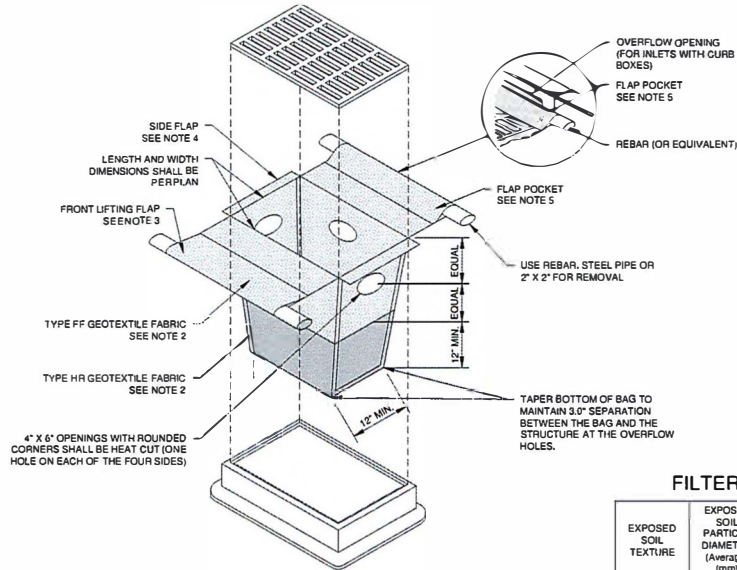
WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED IN THE FABRIC DOES NOT FALL INTO THE STRUCTURE. MATERIAL THAT HAS FALLEN INTO THE INLET SHALL BE IMMEDIATELY REMOVED.

NOTES:

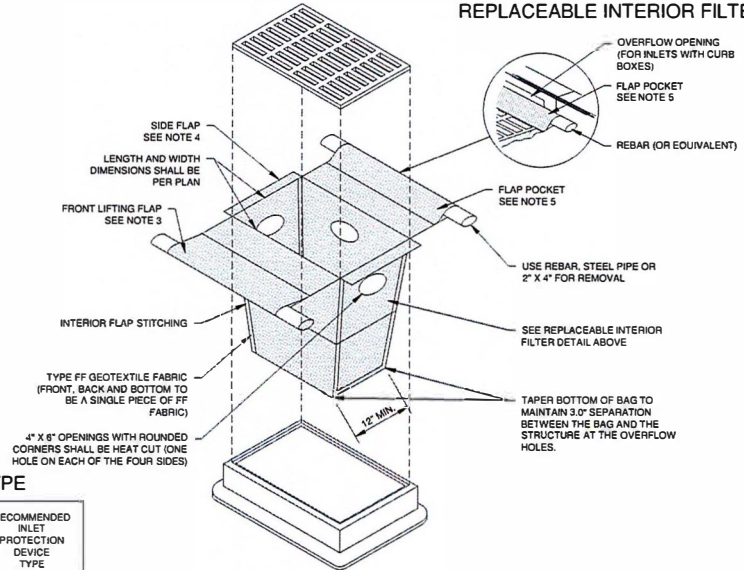
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REPLACEABLE INTERIOR FILTER



INLET PROTECTION, TYPE D-HR
(CAN BE INSTALLED IN INLETS WITH OR WITHOUT CURB BOXES)



INLET PROTECTION, TYPE D-M
(CAN BE INSTALLED IN INLETS WITH OR WITHOUT CURB BOXES)

FILTER FABRIC TYPE

EXPOSED SOIL TEXTURE	EXPOSED SOIL PARTICLE DIAMETER (Average) (mm)	FILTER FABRIC TYPE*	RECOMMENDED INLET PROTECTION DEVICE TYPE
COARSE (SAND)	>0.0625	FF	D, D-M
MEDIUM (SILT LOAM)	0.0624 - 0.005	DF	D, D-M
FINE (CLAY)	> 0.004	R	D-M
		HR	D-HR

* DF, R OR HR FILTERS MAY BE USED WHERE FF IS THE REQUIRED MINIMUM STANDARD. R OR HR MAY BE USED WHERE DF IS THE REQUIRED MINIMUM STANDARD.

** FOLLOW DESIGN CRITERIA OF WQNR TECHNICAL STANDARD 1010

NO.	DATE	APPROV.	REVISION	NO.	DATE	APPROV.	REVISION	DRAWN
								SKM
								CHECKED
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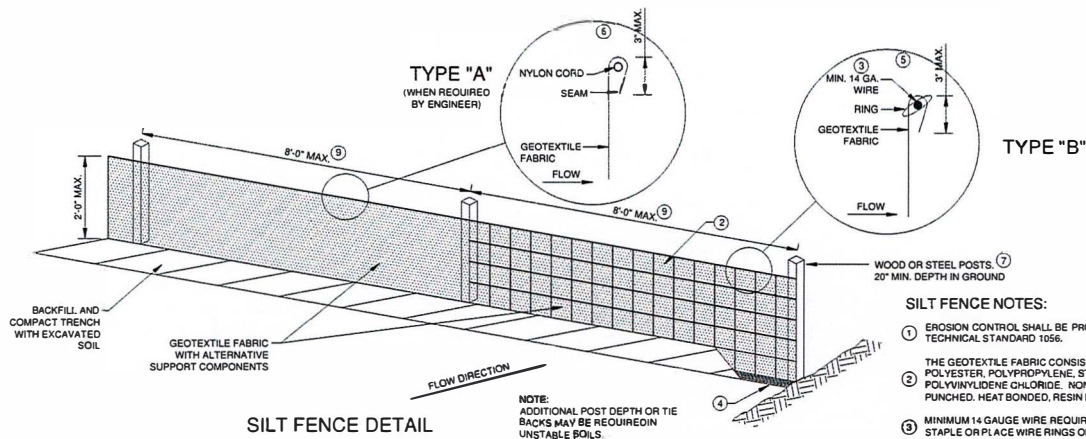
BOB'S QUALITY HEATING EXPANSION FOR
FOX CITIES BUILDERS
VILLAGE OF KIMBERLY
OUTAGAMIE COUNTY, WISCONSIN

EROSION CONTROL
INLET PROTECTION
TYPE D-HR AND TYPE D-M

DATE	REVISION
FILE	REVISED
JOB NO.	DATE

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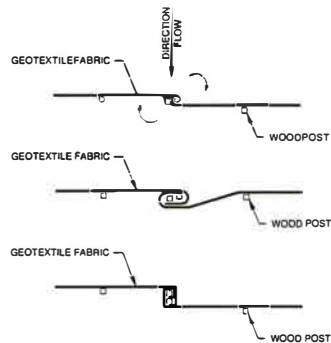
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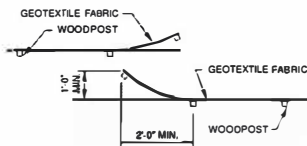
SILT FENCE DETAIL

SILT FENCE NOTES:

1. EROSION CONTROL SHALL BE PROVIDED IN ACCORDANCE WITH WDNR TECHNICAL STANDARD 1056.
2. THE GEOTEXTILE FABRIC CONSISTS OF EITHER WOVEN OR NON-WOVEN POLYESTER, POLYPROPYLENE, STABILIZED NYLON POLYETHYLENE OR POLYVINYLIDENE CHLORIDE. NON-WOVEN FABRIC MAY BE NEEDLE PUNCHED, HEAT BONDED, RESIN BONDED, OR COMBINATIONS THEREOF.
3. MINIMUM 14 GAUGE WIRE REQUIRED. FOLD FABRIC 3" OVER THE WIRE AND STAPLE OR PLACE WIRE RINGS ON 12" C.C.
4. EXCAVATE A TRENCH A MINIMUM OF 4" WIDE AND 6" DEEP TO BURY AND ANCHOR THE GEOTEXTILE FABRIC. FOLD MATERIAL TO FIT TRENCH AND BACKFILL AND COMPACT TRENCH WITH EXCAVATED SOIL.
5. WIRE SUPPORT FENCE SHALL BE 14 GAUGE MINIMUM WOVEN WIRE WITH A MAXIMUM MESH SPACING OF 6". SECURE TOP OF GEOTEXTILE FABRIC TO TOP OF FENCE WITH STAPLES OR WIRE RINGS AT 12" C.C. (TYPE B)
6. GEOTEXTILE FABRIC SHALL BE REINFORCED WITH AN INDUSTRIAL POLYPROPYLENE NETTING WITH A MAXIMUM MESH SPACING OF 3/4" OR EQUAL. A HEAVY DUTY NYLON TOP SUPPORT CORD OR EQUIVALENT IS REQUIRED. (TYPE A)
7. STEEL POSTS SHALL BE 5' LONG WITH A MINIMUM STRENGTH OF 1.33 LBS PER FOOT. WOOD POSTS SHALL BE A MINIMUM SIZE OF 1 1/8" X 1 1/8" OF OAK OR HICKORY. THE POSTS SHALL BE A MINIMUM OF 3' LONG FOR 24" SILT FENCE AND 4' LONG FOR 36" SILT FENCE.
8. CONSTRUCT SILT FENCE FROM A CONTINUOUS ROLL. IF POSSIBLE, BY CUTTING LENGTHS TO AVOID JOINTS. IF A JOINT IS NECESSARY, USE ONE OF THE FOLLOWING TWO METHODS: A) TWIST METHOD - OVERLAP THE END POSTS AND TWIST, OR ROTATE, AT LEAST 180 DEGREES. B) HOOK METHOD - HOOK THE END OF EACH SILT FENCE LENGTH.
9. THE MAXIMUM SPACING OF POSTS FOR WOVEN FABRIC SILT FENCE SHALL BE 8 FEET AND FOR NON-WOVEN FABRIC 3 FEET.

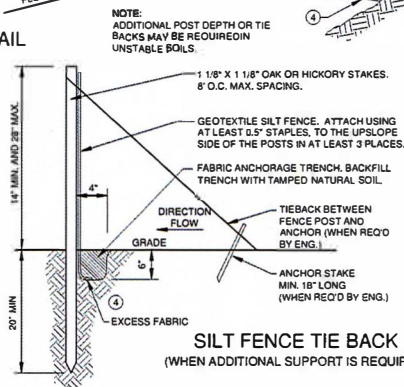


TWIST METHOD



HOOK METHOD

JOINING TWO LENGTHS OF SILT FENCE



SILT FENCE TIE BACK
(WHEN ADDITIONAL SUPPORT IS REQUIRED)

EROSION CONTROL SHEET FLOW NOTES:

1. ANY SOIL STOCKPILED THAT REMAINS FOR MORE THAN 7 DAYS, SHALL BE COVERED OR TREATED WITH STABILIZATION PRACTICES SUCH AS TEMPORARY OR PERMANENT SEEDING AND MULCHING.
2. A MINIMUM OF 4" OF TOPSOIL MUST BE APPLIED TO ALL AREAS TO BE SEEDDED OR SODDED.
3. ALL WASTE AND UNUSED BUILDING MATERIALS (INCLUDING GARBAGE, DEBRIS, CLEANING WASTES, WASTEWATER, TOXIC MATERIALS, OR HAZARDOUS MATERIALS) SHALL BE PROPERLY DISPOSED OF AND NOT ALLOWED TO BE CARRIED OFF-SITE BY RUNOFF OR WIND.
4. ALL OFF-SITE SEDIMENT DEPOSITS OCCURRING AS A RESULT OF CONSTRUCTION WORK OR A STORM EVENT SHALL BE CLEANED UP BY THE END OF EACH DAY. FLUSHING SHALL NOT BE ALLOWED.
5. ANY SOIL EROSION THAT OCCURS AFTER FINAL GRADING AND/OR THE APPLICATION OF STABILIZATION MEASURES MUST BE REPAIRED AND THE STABILIZATION WORK REDONE.
6. FOR ANY DISTURBED AREA THAT REMAINS INACTIVE FOR GREATER THAN 7 WORKING DAYS, OR WHERE GRADING WORK EXTENDS BEYOND THE PERMANENT SEEDING DEADLINES, THE SITE MUST BE TREATED WITH TEMPORARY STABILIZATION MEASURES SUCH AS SOIL TREATMENT, TEMPORARY SEEDING AND/OR MULCHING.
7. ALL TEMPORARY EROSION CONTROL PRACTICES SHALL BE MAINTAINED UNTIL THE SITE IS STABILIZED WITH 70% VEGETATION AND A NOTICE OF TERMINATION HAS BEEN APPROVED BY THE WDNR.
8. WIND EROSION SHALL BE KEPT TO A MINIMUM DURING CONSTRUCTION. WATERING, MULCH OR A TACKING AGENT MAY NEED TO BE UTILIZED TO PROTECT NEARBY RESIDENCES/WATER RESOURCES.
9. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL THE EROSION CONTROL MEASURES IN CONFORMANCE WITH THE WDNR CONSERVATION PRACTICE STANDARDS LATEST EDITION.
10. UPON COMPLETION OF STORM INLET CONSTRUCTION, INSTALL STORM DRAIN INLET PROTECTION FOR CONSTRUCTION SITE AS SPECIFIED.
11. FINE SEDIMENT ACCUMULATIONS SHALL BE CLEANED FROM STREETS, PRIVATE DRIVES, OR PARKING AREAS BY MANUAL OR MECHANICAL SWEEPING A MINIMUM OF ONCE A WEEK AND BEFORE ALL IMMINENT RAINS.
12. EROSION AND SEDIMENT CONTROL STRUCTURES SHALL BE INSPECTED WEEKLY AND WITHIN 24 HOURS OF RAINFALL OF 0.5" OR MORE.

NO.	DATE	APPROV.	REVISION	NO.	DATE	APPROV.	REVISION

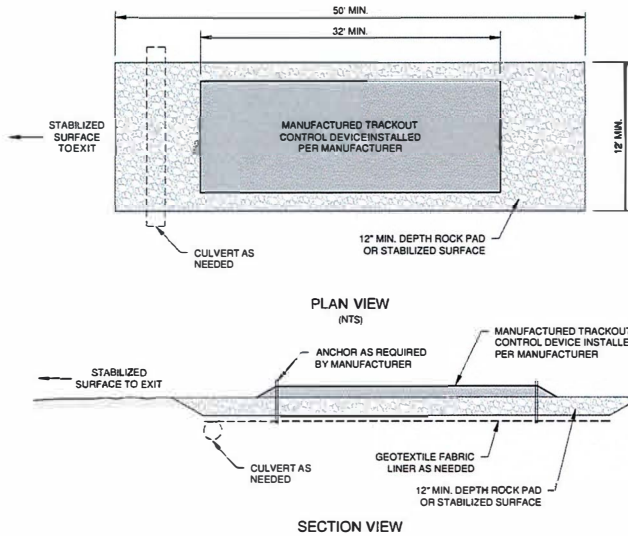
BOB'S QUALITY HEATING EXPANSION FOR
FOX CITIES BUILDERS
VILLAGE OF KIMBERLY
OUTAGAMIE COUNTY, WISCONSIN

EROSION CONTROL
SHEET FLOW DETAILS

DATE	
FILE	
JOB NO.	
DATE	

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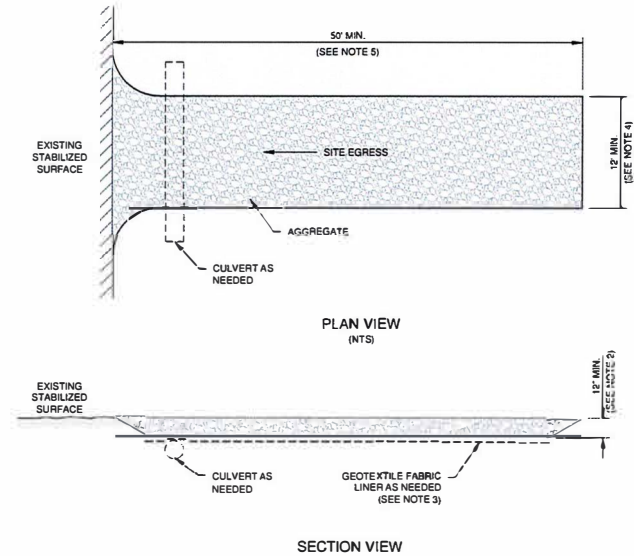
* TRACKOUT CONTROL TO BE PROVIDED PER DETAILS BELOW AND IN ACCORDANCE WITH WDNR TECHNICAL STANDARD 1057



NOTES:

1. THIS DETAIL IS PROVIDED AS AN EXAMPLE. COMPLY WITH MANUFACTURER'S SPECIFICATIONS WHILE ALSO MEETING THE MINIMUM MANUFACTURED TRACKING PAD LENGTH AND WIDTH DESCRIBED IN THIS TECHNICAL STANDARD.
2. INSTALL SUCH THAT RUNOFF FLOWS TO AN APPROVED TREATMENT PRACTICE.
3. A THINNER STONE LAYER OR OTHER STABLE SURFACE MAY BE ACCEPTABLE SUCH THAT RUTTING IS MINIMIZED AS VEHICLES MOUNT OR DISMOUNT FROM THE MANUFACTURERS TRACKOUT CONTROL DEVICE.
4. SELECT FABRIC TYPE BASED ON SOIL CONDITIONS AND VEHICLES LOADING.
5. DIRECT ALL EXISTING VEHICLES OVER MANUFACTURED TRACKOUT CONTROL DEVICE. STONE TRACKING PAD INSTALLATION ACROSS REMAINING ACCESS WIDTH IS RECOMMENDED. A 12' MINIMUM CAN BE USED WHEN EXITING TRAFFIC IS RESTRICTED TO A DEDICATED EGRESS LANE.
6. IF MINIMUM INSTALLATION LENGTH IS NOT POSSIBLE DUE TO SITE GEOMETRY, INSTALL THE MAXIMUM LENGTH PRACTICABLE AND SUPPLEMENT WITH ADDITIONAL PRACTICES AS NEEDED.
7. ACCOMMODATE EXITING VEHICLES IN EXCESS OF MANUFACTURED TRACKOUT CONTROL DEVICE WEIGHT CAPACITY WITH OTHER TREATMENT PRACTICES.

MANUFACTURED TRACKOUT CONTROL DETAIL



NOTES:

1. USE HARD, DURABLE, ANGULAR STONE OR RECYCLED CONCRETE, MEETING THE FOLLOWING GRADATION:

SIEVE SIZE:	PERCENT BY WEIGHT PASSING:
3"	100
2 1/2"	90-100
1 1/2"	25-60
3/4"	0-20
3/8"	0-5
2. SLOPE THE STONE TRACKING PAD IN A MANNER TO DIRECT RUNOFF TO AN APPROVED TREATMENT PRACTICE.
3. SELECT FABRIC TYPE BASED ON SOIL CONDITIONS AND VEHICLES LOADING.
4. INSTALL TRACKING PAD ACROSS FULL WIDTH OF THE ACCESS POINT, OR RESTRICT EXISTING TRAFFIC TO A DEDICATED EGRESS LANE AT LEAST 12 FEET WIDE ACROSS THE TOP OF THE PAD.
5. IF A 50' PAD LENGTH IS NOT POSSIBLE DUE TO SITE GEOMETRY, INSTALL THE MAXIMUM LENGTH PRACTICABLE AND SUPPLEMENT WITH ADDITIONAL PRACTICES AS NEEDED.

STONE TRACKING PAD DETAIL

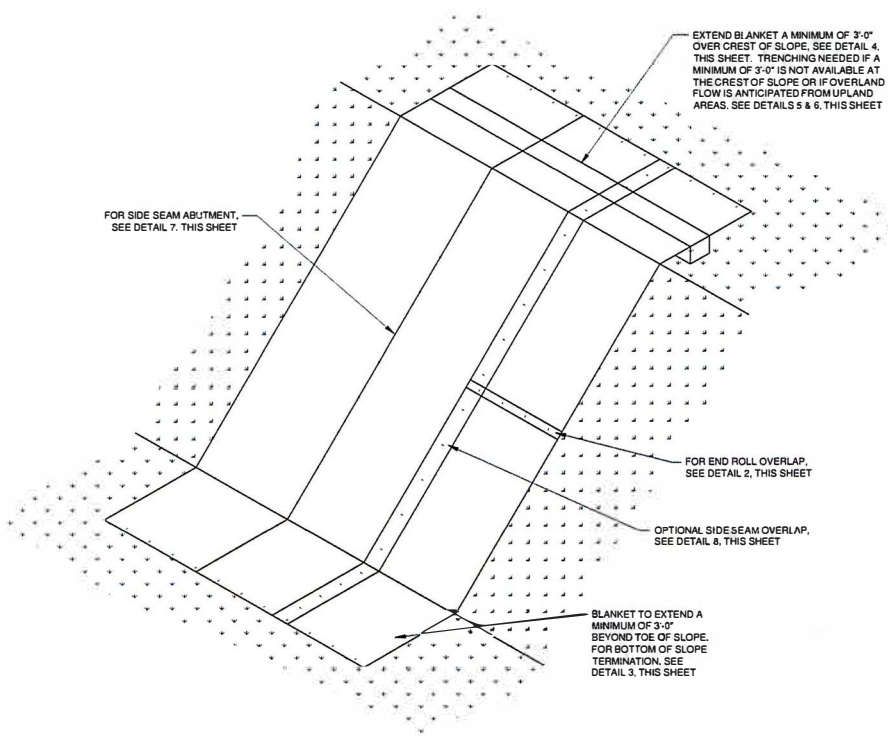
NO.	DATE	APPROV.	REVISION	NO.	DATE	APPROV.	REVISION

BOB'S QUALITY HEATING EXPANSION FOR
FOX CITIES BUILDERS
VILLAGE OF KIMBERLY
OUTAGAMIE COUNTY, WISCONSIN

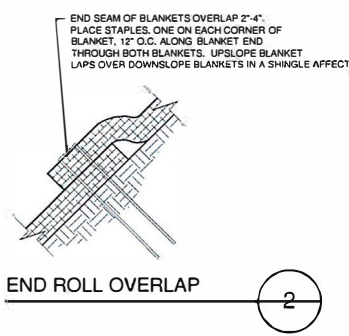
EROSION CONTROL
TRACKOUT CONTROL PRACTICES

DATE	
FILE	
JOB NO.	

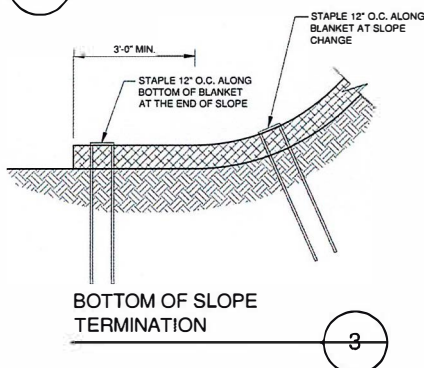
REL Robert E. Lee
& Associates, Inc.
1250 Centennial Centre Blvd | Hobart, WI | 920-662-9641 | rel@relinc.com



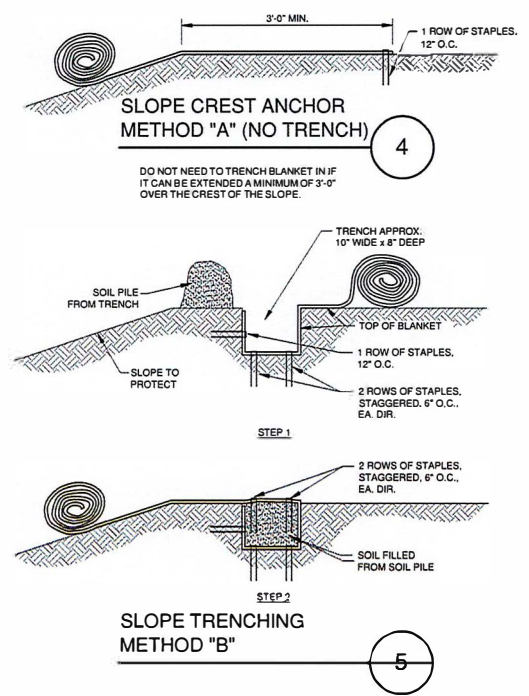
SLOPE DETAIL 1



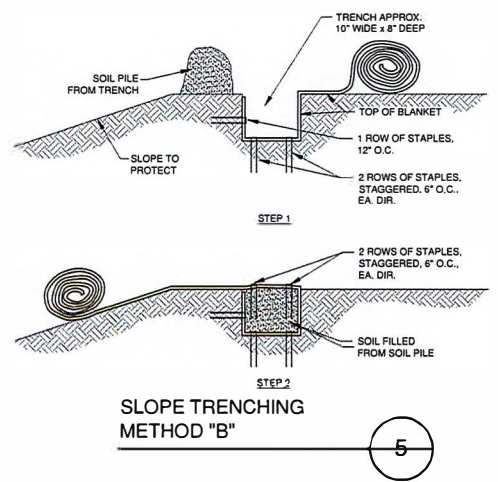
END ROLL OVERLAP 2



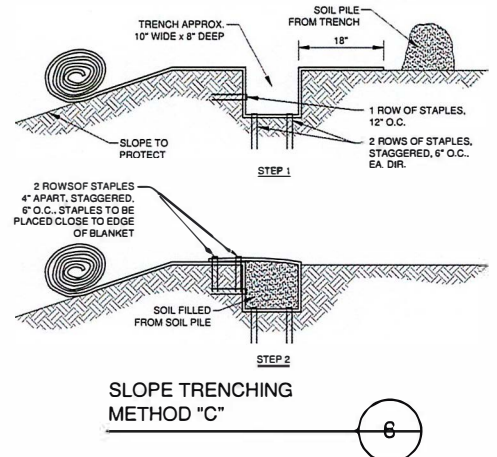
BOTTOM OF SLOPE TERMINATION 3



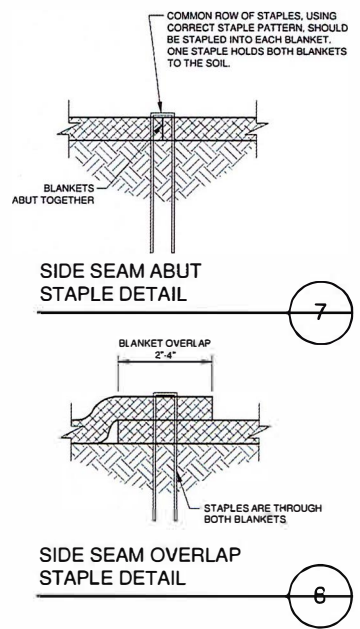
SLOPE TRENCHING METHOD "A" (NO TRENCH) 4



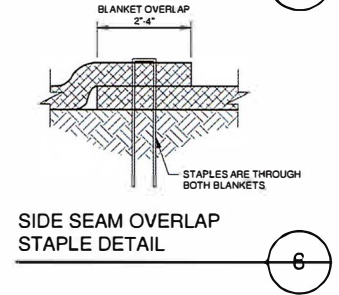
SLOPE TRENCHING METHOD "B" 5



SLOPE TRENCHING METHOD "C" 6



SIDE SEAM ABUT STAPLE DETAIL 7



SIDE SEAM OVERLAP STAPLE DETAIL 8

NOTES:
1. STAPLE PATTERNS ARE DEPENDENT ON SITE CONDITIONS. SEE MANUFACTURER STAPLE PATTERN GUIDE FOR DETAILS.

NO.	DATE	APPROV.	REVISION	NO.	DATE	APPROV.	REVISION

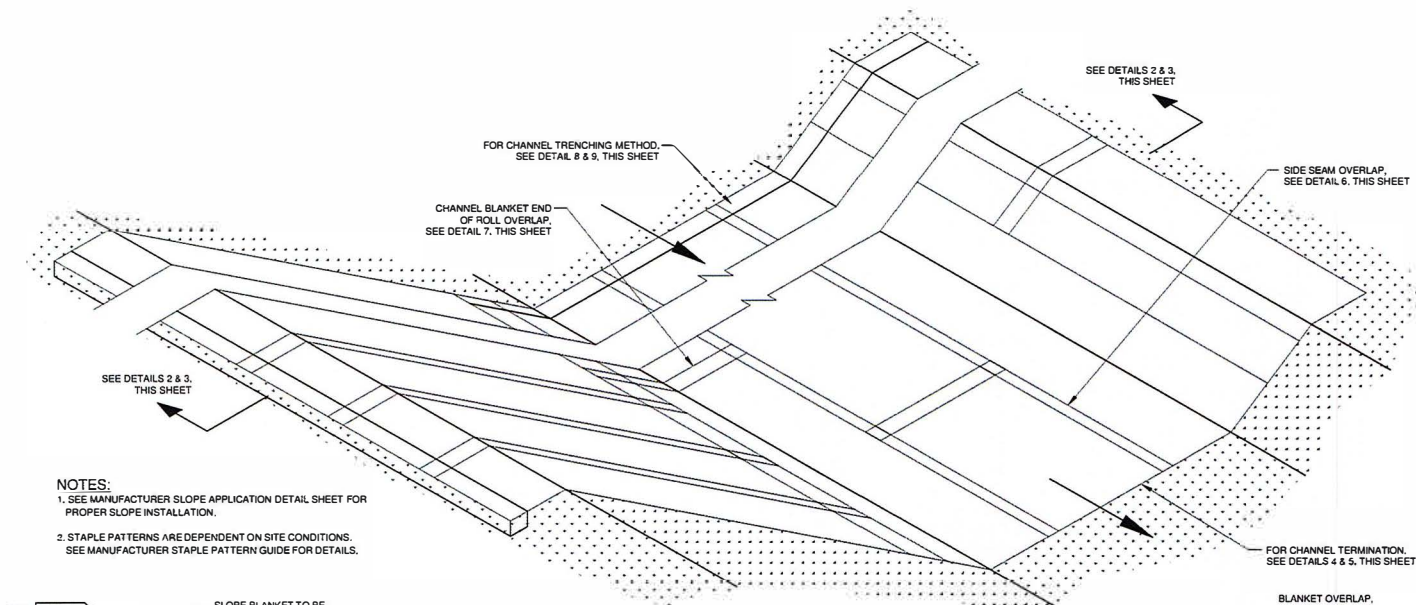
BOB'S QUALITY HEATING EXPANSION FOR
FOX CITIES BUILDERS
VILLAGE OF KIMBERLY
OUTAGAMIE COUNTY, WISCONSIN

EROSION CONTROL
EROSION MAT
SLOPE APPLICATION DETAILS

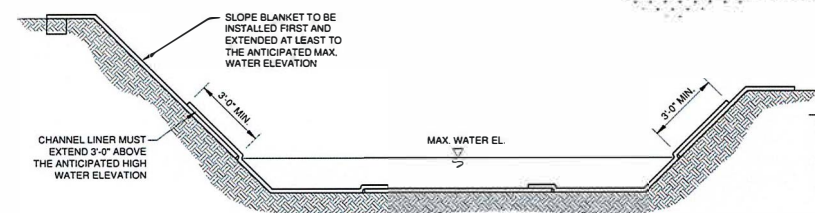
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FILE	180100000
JOB NO.	180100000
REVISED	

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SHEET NO. 10

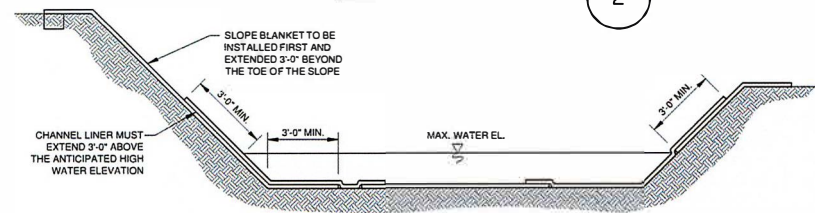


NOTES:
 1. SEE MANUFACTURER SLOPE APPLICATION DETAIL SHEET FOR PROPER SLOPE INSTALLATION.
 2. STAPLE PATTERNS ARE DEPENDENT ON SITE CONDITIONS. SEE MANUFACTURER STAPLE PATTERN GUIDE FOR DETAILS.



CHANNEL INSTALLATION METHOD "A"

2



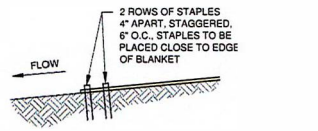
CHANNEL INSTALLATION METHOD "B"

3



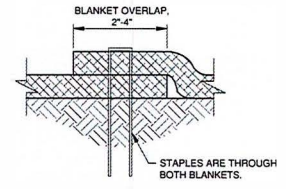
CHANNEL TERMINATION PLAN

4



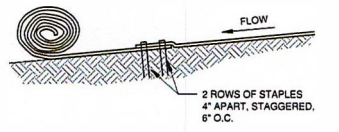
CHANNEL TERMINATION

5



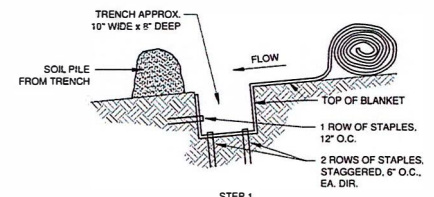
SIDE SEAM OVERLAP STAPLE DETAIL

6



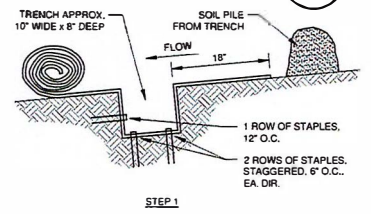
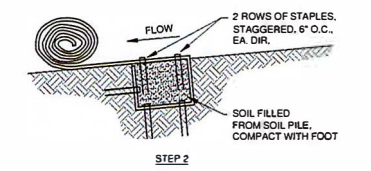
CHANNEL BLANKET END OF ROLL OVERLAP

7



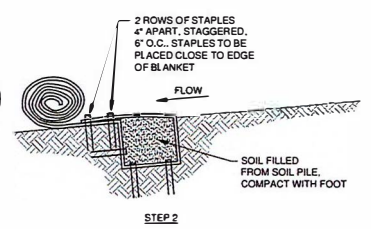
CHANNEL TRENCHING METHOD "A"

8



CHANNEL TRENCHING METHOD "B"

9



NO.	DATE	APPROV.	REVISION	NO.	DATE	APPROV.	REVISION	DRAWN BY	CHECKED	DESIGNED	LAB.

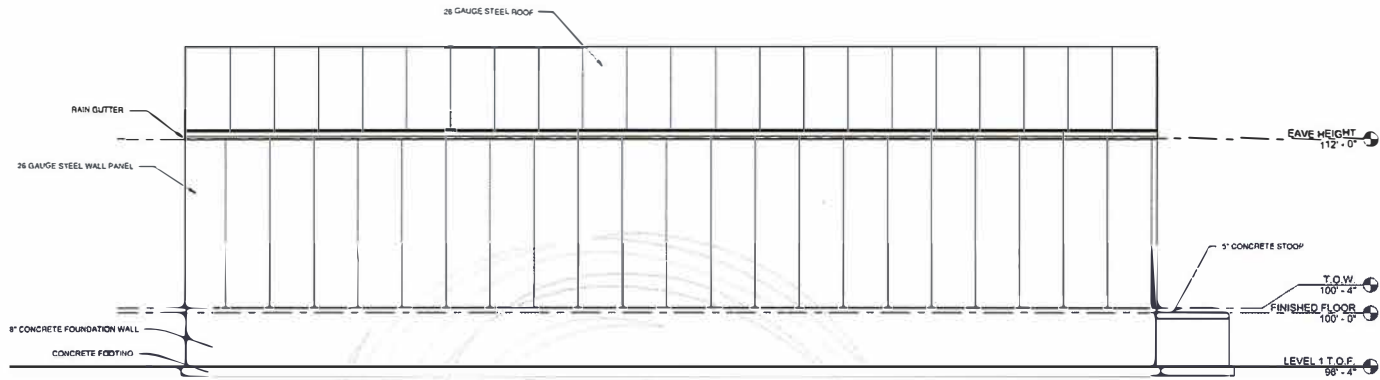
BOB'S QUALITY HEATING EXPANSION FOR
 FOX CITIES BUILDERS
 VILLAGE OF KIMBERLY
 OUTAGAMIE COUNTY, WISCONSIN

EROSION CONTROL
 EROSION MAT
 CHANNEL APPLICATION DETAILS

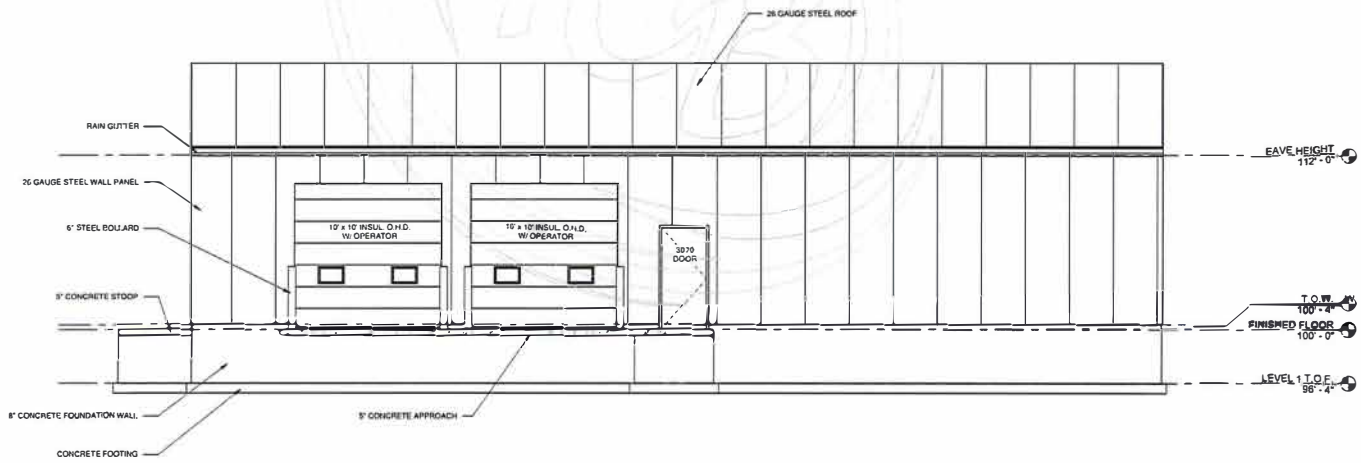
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JOB NO.	190319
DRAWN BY	

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SHEET NO. 11



① EXTERIOR BUILDING ELEVATION - EAST
SCALE: 1/4" = 1'-0"



② EXTERIOR BUILDING ELEVATION - WEST
SCALE: 1/4" = 1'-0"



77313 COUNTY ROAD Y
SEYBOUR, WISCONSIN 541
PHONE: (920) 832-9145

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STAMP
PRELIMINARY
PLAN SET - NOT
CONSTRUCTIVE

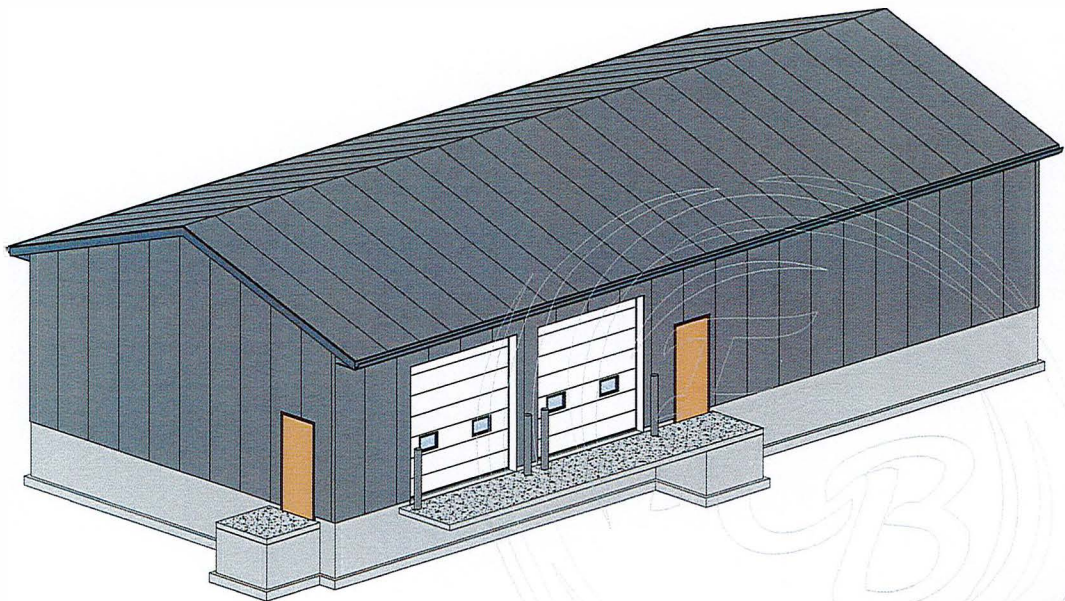
BOB'S QUALITY HEATING - ADDITION
123 S. RAILROAD ST.
KIMBERLY, WI 54136
SALES REP: MIKE VAN VREEDE
10/16/23

Date	Description

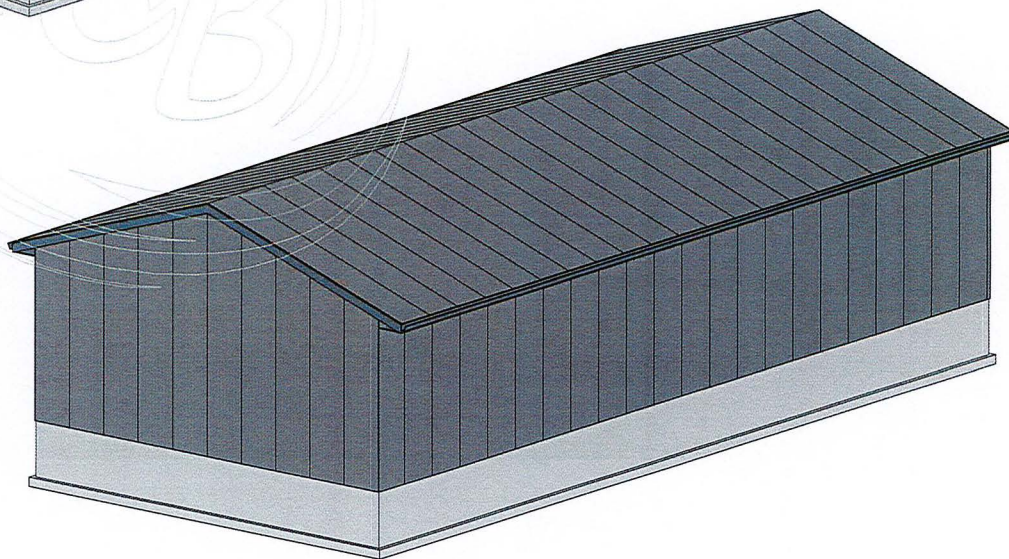
Project Status
PROJECT #: 23-182
DRAWN BY: BW
CHECKED BY: XX

EXTERIOR BUILDING ELEVATIONS

A2.0



② 3D VIEW - NORTHWEST
SCALE



① 3D VIEW - SOUTHEAST
SCALE



1721 S COUNTY ROAD V
SEYMOUR, WISCONSIN 541
PHONE 828 833 8545

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STAMP
PRELIMINARY
PLAN SET FOR
CONSTRUCTION

BOB'S QUALITY HEATING - ADDITION
123 S. RAILROAD ST.
KIMBERLY, WI 54136
SALES REP: MIKE VAN VREEDE
10/16/23

Date	Description

Project Status
PROJECT #: 23-182
DRAWN BY: BW
CHECKED BY: XX

3D EXTERIOR VIEWS

A10.C



Village of Kimberly REQUEST FOR BOARD CONSIDERATION

ITEM DESCRIPTION: Village Street and Parks Facility Site Plan

REPORT PREPARED BY: Greg Ulman, Director of Public Works/Zoning Administrator

REPORT DATE: January 22, 2024

ADMINISTRATOR'S REVIEW / COMMENTS:

No additional comments to this report _____ **MEM** _____

See additional comments attached _____

EXPLANATION: On January 16, 2024, Plan Commission was presented with the site plans for the Streets/Parks facility. The plans that were presented were the most up-to-date and we asked the Commission review and provide feedback prior to finalizing the plans and prior to our final presentation to the Board. I can speak for all Village employees who have been working on this project, that we take pride in this project and put forth all attempts to make this facility functional and viable for years to come, and we welcome all inputs to make it a great facility to work in.

Plan Commission discussed:

- The building signage on Kimberly Ave intentionally does not include a Village logo.
- The elevation of the new building compared to the current elevation of the existing building. (Trevor confirmed with the Civil Engineer that the building needs to be in a certain elevation compared to Maes Ave., James St., and Kimberly Ave. for proper drainage, to the catch basins, in the lots to prevent flow of water onto those streets)
- The asphalt abutting the sidewalk along James St. for truck access to the fill station.
- The fence line along the east side, which provides adequate access to enter our yard without staging on James St.
- The look of the front of the building and the sloped roofline.

Plan Commission approved recommendation of the site plan as presented to the Village Board at their 1/16/24 meeting.

RECOMMENDED ACTION: Approved the Village Street and Parks Facility site plan as presented as recommended by the Plan Commission on 1/16/24.



**Village of Kimberly
Request for
Planning Commission Recommendation**

ITEM DESCRIPTION: Village of Kimberly Street/Parks Facility Site Review
REPORT PREPARED BY: Greg Ulman
REPORT DATE: 1/16/24
EXPLANATION: On February 13 th , 2022, the Village of Kimberly in conjunction with SEH conducted a facilities analysis to determine the need for a new street/parks facility. It was determined during this analysis that the Village facility was outdated, lacking current safety standards, and inadequate storage needs for equipment. It was determined that the current street/parks facility be torn down and a new building be erected on the same lot. On October 13 th , 2022, the Village of Kimberly sent out requests for proposals to various engineering/architecture firms to help with the design of a new streets/parks facility. SEH was awarded the contract in designing a new facility. Throughout the past year the Village and SEH has been following all local and state codes in all aspects of the design a few high-level highlights are: <ul style="list-style-type: none">• The new building has a 10-foot setback off the property lines.• Exterior light fixtures photometrics don't spill onto the adjacent properties.• The Village Board directive of reduced landscape has pleased Metro Police with greater line of sight around the building, increasing safety for adjacent properties.• Stormwater will go directly to an offsite stormwater pond.
The plan for the Village and SEH is to send the plans out to bid in mid-February and open the bids in mid-March. The Village Board has been instrumental in this process with recommendations and feedback, they will ultimately approve or deny the bids once received.
RECOMMENDED ACTION: Approve current plans provided by SEH.
ATTACHMENTS: Plans provided by SEH



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for All of Us®

MEMORANDUM

TO: Maggie Mahoney- Administrator
Greg Ulman- Operations Manager

FROM: Trevor M. Frank, AIA

DATE: January 2, 2024

RE: Site Plan Review Narrative
SEH No. 171196

This memo is in response to the request to provide a written narrative to the requirements for site plan review by the Village of Kimberly.

Site Plan Review Narrative

The existing use of the property as it operates today is the current location of the village of Kimberly's Street and Parks Department offices, municipal yard and general shop location.

The proposed use of site will be the same village function operating in a consistent manner to the current operations on the site.

Effects on adjoining properties will not change. There will be the appropriate setbacks from the adjoining properties as required by village code. These areas will also include fencing and landscaping so as to conceal the operations from sight by adjoining properties.

The hours of operation will not change. These Hours are typically 7:00 AM to 3:30 PM as core hours. These hours fluctuate depending on the time of year and the types of response events village staff need to respond to. (ie. Severe weather events, snow events, etc.)

The operations typically do not contribute to excessive noise, odors or fumes. The operation is relatively self-contained to the site and is typically not considered an intrusive operation to the neighboring residents.

The compatibility of the use with adjacent properties in the area will not change with the expansion of the operation. Since there are currently no compatibility issues that have been expressed by the neighboring properties it can be assumed the new operation will not create any compatibility issues going forward.

Traffic generation will not increase or decrease with the proposed use. Staff vehicle numbers will not fluctuate greatly except at seasonal times of the year. There are an adequate number of parking stalls to accommodate all staff on site.

Traffic Generated by street department response vehicles (Snow plows, street sweepers, maintenance vehicles, mowers etc.) will not increase. Access to the site and internal site traffic patterns will not change greatly other than travel distance into the vehicle storage building will be decreased from the entrance off James Street. The primary ingress location will be from James Street from an East to West direction. Egress from the site will be from the north onto Maes Avenue.

Engineers | Architects | Planners | Scientists

Short Elliott Hendrickson Inc., 425 West Water Street, Suite 300, Appleton, WI 54911-6058

920.380.2800 | 888.413.4214 | 888.908.8166 fax | sehinc.com

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Value engineering and its impact on the site development:

As a means of cutting the overall project cost, the consultant team was asked to determine options for value engineering out some of the construction cost. The following items were eliminated from the site plan and will have an impact on the overall functionality and aesthetic of the building.

The proposed Plaza pavement and site amenities (flag pole, benches, drinking fountain, bike repair station) were eliminated from the landscape architecture plans.

All of the Proposed landscaping including concrete bed edging, mulched beds, and landscape plant material was eliminated from the landscape architecture plans. The entire landscaped areas of the site will receive manicured lawn. The landscape plans accompanying this submittal reflect the revised landscape and planting plans.

It is the intent of the Village to add the landscape plant materials and amenities at a later date. The original landscape plans were preserved and will be submitted to the village for use in their future landscape development and installation by village staff.

Concrete pavement in areas adjacent to overhead doors was reduced in size and replaced with asphalt.

The omitted concrete pavement areas will be installed at a later date likely upon failure of the asphalt pavement in front of the overhead doors.

No other aesthetic impacts were made to the facility for the design of the building that would be noteworthy for the site plan review process.



VILLAGE OF KIMBERLY
Site Review Application

Submit to:
Planning & Zoning
515 W. Kimberly Ave.
Kimberly WI 54136
920-788-7500

Applicant Information

Petitioner: _Trevor M. Frank_____ Date:1/16/23
Petitioner Address: 425 W. Water Street_____ City: Appleton_____ State: WI__ Zip: 54911_____
Telephone #: (920)380-2800_____ Fax: () _____ email: tfrank@sehinc.com_____
Status of Petitioner (please check one): ___ Owner _X_ Representative ___ Tenant ___ Prospective Buyer

Handwritten signature of Trevor M. Frank

Petitioner's Signature (required):

Owner Information

Owner(s): Village of Kimberly_____ Date: 10/22/23_____
Owner(s) Address: 515 W. Kimberly Avenue__ City: Kimberly_____ State: WI__ Zip: 54136_____
Telephone #: (920)_788-7500_____ Fax: () _____ email: mmahoney@vokimberlywi.gov
Ownership Status (please check one): _X_ Municipality ___ Trust ___ Partnership ___ Corporation

Property Owner Consent (required):

By signature hereon, I/We acknowledge that Village officials and/or employees may, in the performance of their functions and duties, enter upon the property to inspect or gather other information necessary to process this application. I also understand that all meeting dates are tentative and may be postponed by the Village for incomplete submissions or other administrative reasons.

Property Owner's Signature:_____ Date: _____

Site Information

Address/Location of Proposed Project: 426 W. Kimberly Avenue__ Zoning: I2_____

Proposed Project or Use: Street and Parks Department Office and Shop Facility_____

Current or last Use of Property: Street and Parks Department Office and Shop Facility ___

Land Uses Surrounding this Address: North: Residential (R3)_____
South: Commercial (B1)_____
East: Residential (R3) and Commercial (B1)_____
West: Commercial (B1)_____

- It is recommended that the applicant meet with Village Department staff prior to submittal to review the project and submitted materials.
➤ Application Fees must be submitted with the application.

Submittal Requirements – Must accompany the application to be complete.

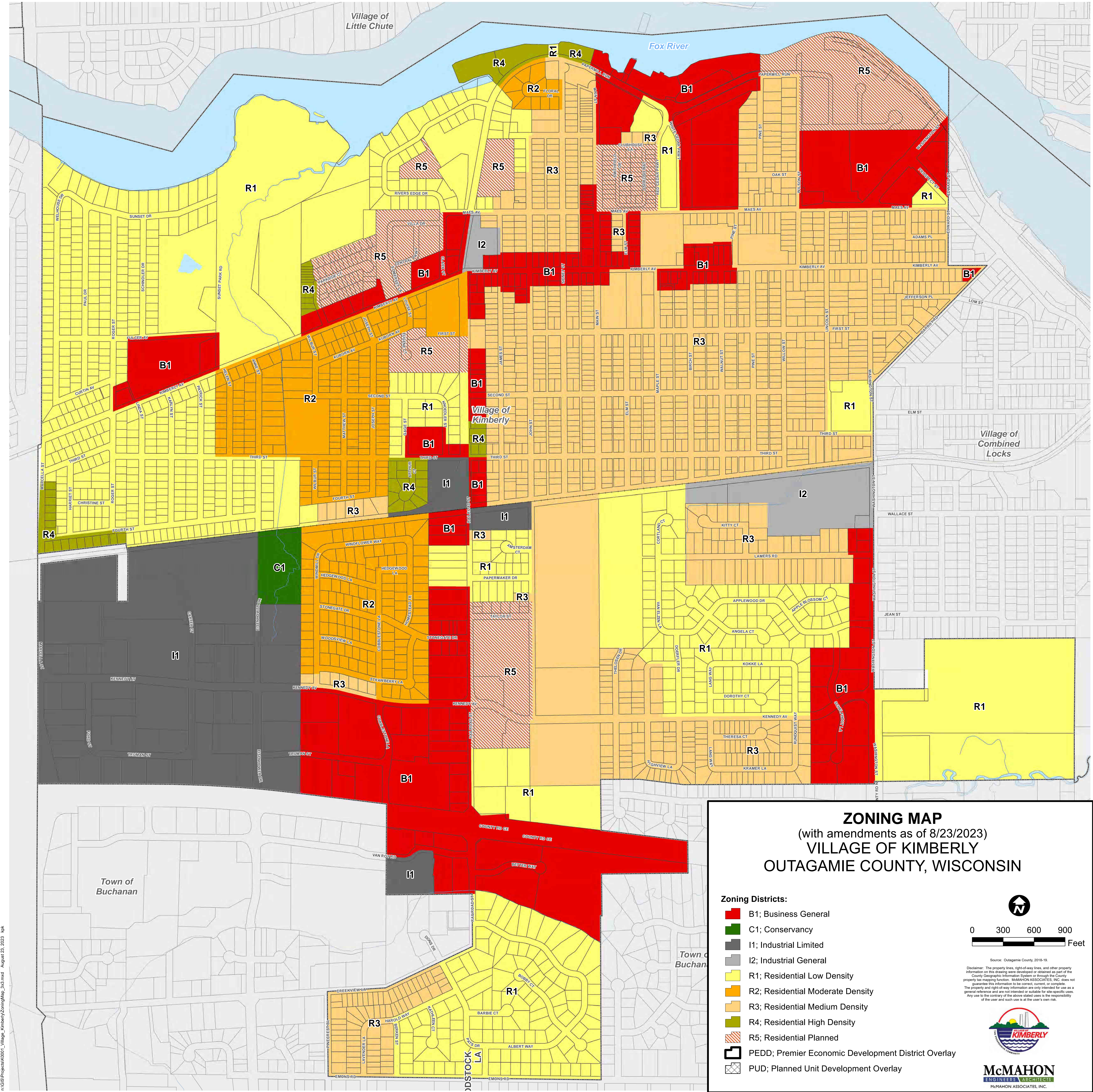
- A narrative of the proposed building or addition including:
 - Proposed use of the property
 - Existing use of the property
 - Effects on adjoining properties to include: noise, hours of operation, glare, odor, fumes, vibration, etc.
 - Compatibility of the proposed use with adjacent and other properties in the area.
 - Traffic generation
 - Any other information pertinent to adequate understanding of the intended use and its relation to nearby properties
- Complete site plans including:
 - Two (2) legible scaled and dimensioned drawings/prints of site plan and building elevations (when applicable.)
 - Two (2) 8 ½" x 11 (minimum) to 11" x 17" (maximum) reduction of the site plan and building elevations (when applicable.)
 - All existing and proposed buildings, structures, and paved areas, including building entrances, walks, drives, decks, patios, fences, walls.
 - Location of all outdoor storage and refuse disposal areas and the design and materials used for construction
 - Location and dimension of all on-site parking (and off-site parking provisions if they are to be employed
 - Location, height, design, illumination power and orientation of all exterior lighting on the property including a photometrics plan.
 - Location of all exterior mechanical equipment and utilities and elevations of proposed screening devices where applicable (i.e. visible from a public street or residential use or district). Mechanical equipment includes, but is not limited to; HVAC equipment, electrical transformers and boxes, exhaust flues, plumbing vents, gas regulators, generators.

Site Plan Review Checklist

Project:

Category	Item	Plan Element, Information	Location, Plan, Sheets(PS) or Map	Comments
Civil Plans	1	Name of project/development;	Plan Sheets	
	2	Location of project/development by street address, or CSM	Plan Sheets G001	
	3	Name and mailing address of developer/owner;	Plan Sheets G001	
	4	Name and mailing address of engineer/architect;	Application & Plan Sheets G001	
	5	North point indicator;	Plan Sheets	
	6	Scale;	Plan Sheets	
	7	Boundary lines of property, with dimensions;	Plan Sheets C 200	
	8	Location identification, and dimensions of existing and proposed:	Dimension existing?	
		a. Topographic contours at a minimum interval of two feet, and key spot elevations;	Plan Sheets C 300	
		b. Adjacent streets and street right of ways, respective to the elevation of building first floor;	Plan Sheets C200	
		c. On site streets and street right of ways, and fire lanes;	N/A	
		d. Utilities and any easements.	Plan Sheets C 400	
		e. All buildings and structures, existing & proposed to consider maximum development of the parcel if more than one structure could be located on the parcel;	Plan Sheet C 200	
		f. Public Utilities: The location of sanitary and storm sewer lines and water mains;	Plan Sheet C 400	
		g. Description of proposed system for drainage and a storm water plan showing existing and final grades.	Plan Sheet C 300	
	h. Water bodies and wetlands;	N/A		
	i. All buildings and structures, existing & proposed to consider maximum development of the parcel if more than one structure could be located on the parcel;	Plan Sheet C 100, C 200		
	j. Parking facilities;	Plan Sheet C 200		

		k. Sidewalks, walkways, and driveways;	Plan Sheet C 200	
Civil Plans		l. Off street loading areas and docks;	Plan Sheet C 301	
		m. Fences and retaining walls;	Plan Sheet C 500	
		n. All signs;	On Building See Ext Rendering	
		o. Exterior refuse collection areas and the required enclosure(s);	Plan Sheet A 501	
		p. Exterior lighting;	Photometric Plan Sheet 1 of 1	
		q. Traffic flow on and off site.	Plan Sheet C 200	
		r. Location of open space/green space;	Plan Sheet C 200	
		s. Location and dimensions of proposed outdoor display areas;	N/A	
		t. Proposed circulation systems (pedestrian, bicycle, auto) by type, their connection to the existing network	N/A	
		u. The location of recreational and open space areas;	N/A	
		v. Site statistics, including:		
		i. Sq. Footage	Plan Sheet C 200	104,824 s.f.
		ii. Percent site coverage;	Plan Sheet C 200	89.40%
		iii. Percent open space; and green space	Plan Sheet C 200	10.60%
		9	Erosion control plans;	Plan Sheet C 300
	10	Landscaping plan	Plan Sheet L 101 L 102	
Architectural Plans		Architectural Plans of the proposed structures and buildings, including:		
	11	a. Elevation and Floor Plans;	Plan Sheets A101, A102, A201	
		b. All dimensions;	Plan Sheets A101, A102, A201	
		c. Gross square footage of existing and proposed buildings and structures; and	Plan Sheets G010	
		d. Description of all exterior finish materials.	Plan Sheet A 201 and annotated material sheet	



Village of Little Chute

Fox River

Village of Kimberly

Village of Combined Locks

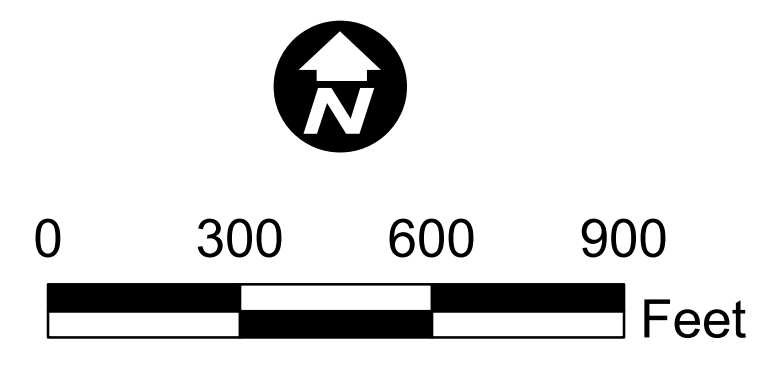
Town of Buchanan

Town of Buchanan

ZONING MAP

(with amendments as of 8/23/2023)
VILLAGE OF KIMBERLY
OUTAGAMIE COUNTY, WISCONSIN

- Zoning Districts:**
- B1; Business General
 - C1; Conservancy
 - I1; Industrial Limited
 - I2; Industrial General
 - R1; Residential Low Density
 - R2; Residential Moderate Density
 - R3; Residential Medium Density
 - R4; Residential High Density
 - R5; Residential Planned
 - PEDD; Premier Economic Development District Overlay
 - PUD; Planned Unit Development Overlay



Source: Outagamie County, 2018-19.
 Disclaimer: The property lines, right-of-way lines, and other property information on this drawing were developed or obtained as part of the County Geographic Information System or through the County property tax mapping function. McMAHON ASSOCIATES, INC. does not guarantee this information to be correct, current, or complete. The property and right-of-way information are only intended for use as a general reference and are not intended or suitable for site-specific uses. Any use to the contrary of the above stated uses is the responsibility of the user and such use is at the user's own risk.



McMAHON
 ENGINEERS ARCHITECTS
 McMAHON ASSOCIATES, INC.

F:\GIS\Projects\0001_Village_Kimberly\ZoningMap_3x3.mxd August 23, 2023 kpk



raSmith
100 West Lawrence Street, Suite 412
Appleton, WI 54911-5754
(920) 731-3499
rasmith.com

Project Owner

Village of Kimberly
Kimberly Street and Parks Department Facility
426 W. Kimberly Avenue
Kimberly, WI 54136

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SEH Project KIMBV 171196
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Drawn By JWS

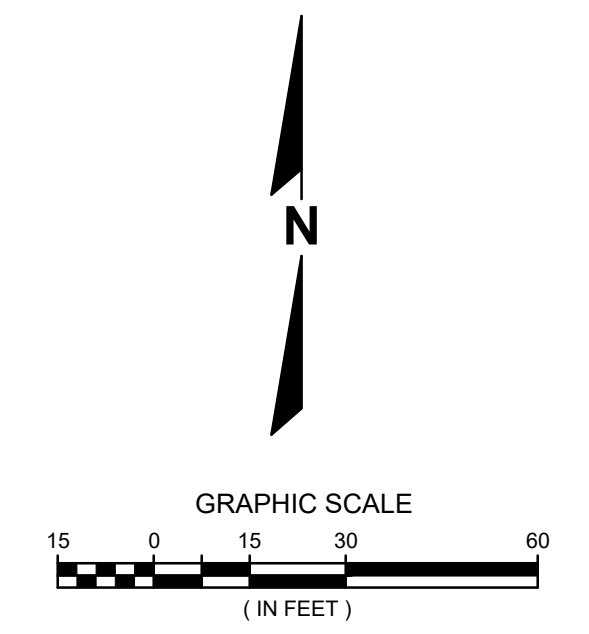
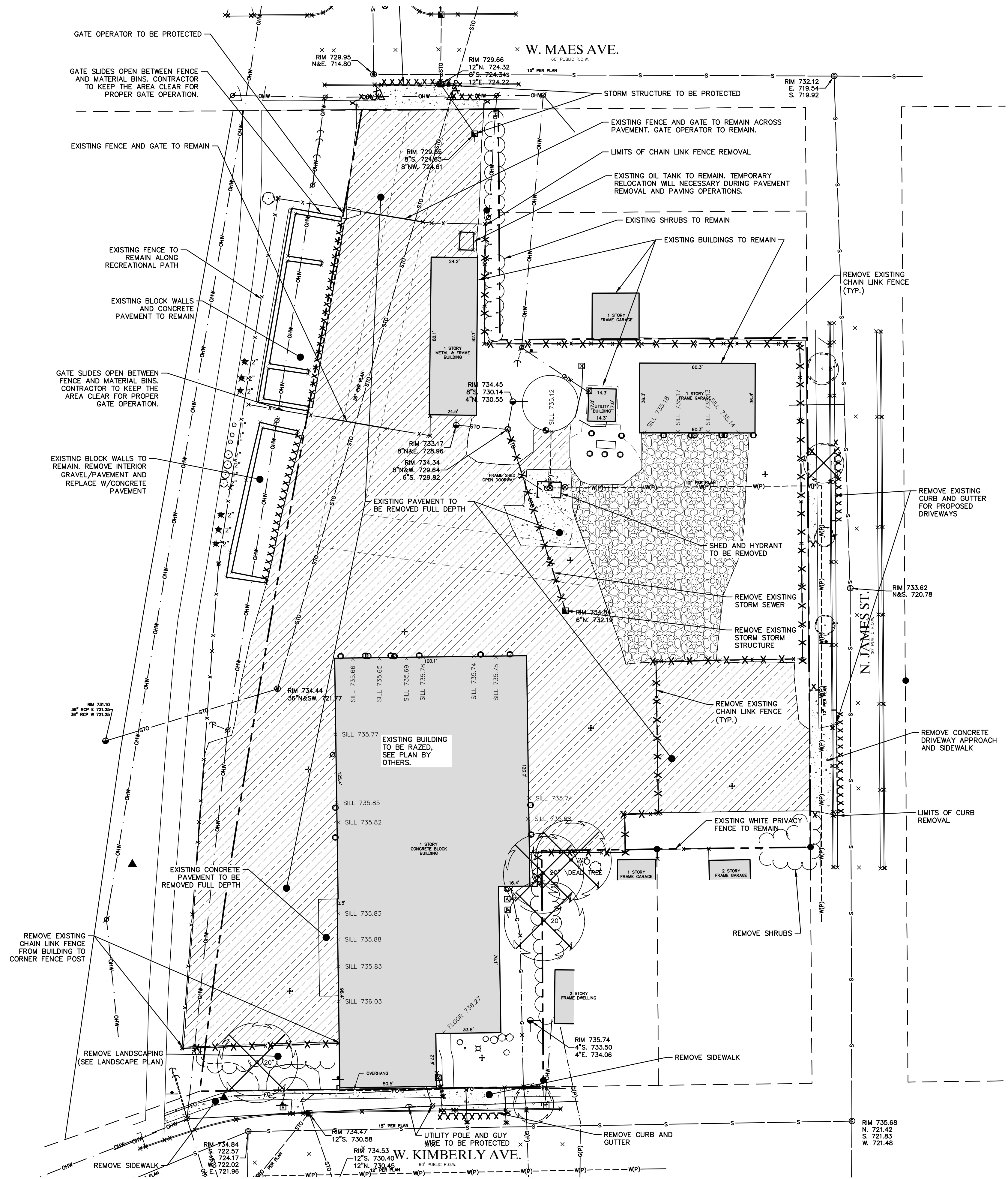
Project Status Issue Date

SITE PLAN REVIEW 12-18-2023

REVISION SCHEDULE
REV. # DESCRIPTION DATE

EXISTING CONDITIONS & DEMOLITION PLAN

C100



LEGEND

- TREE REMOVAL
- EXISTING CONCRETE PAVEMENT TO BE REMOVED
- EXISTING ASPHALT PAVEMENT TO BE REMOVED
- EXISTING GRAVEL TO BE REMOVED
- EXISTING PROPERTY LINE
- FULL DEPTH SAW CUT PAVEMENT



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raSmith
CREATIVITY BEYOND ENGINEERING
100 West Lawrence Street, Suite 412
Appleton, WI 54911-5754
(920) 731-3499
rasmith.com



NOT FOR CONSTRUCTION

Project Owner

Village of Kimberly
Kimberly Street and Parks Department Facility
426 W. Kimberly Avenue
Kimberly, WI 54136

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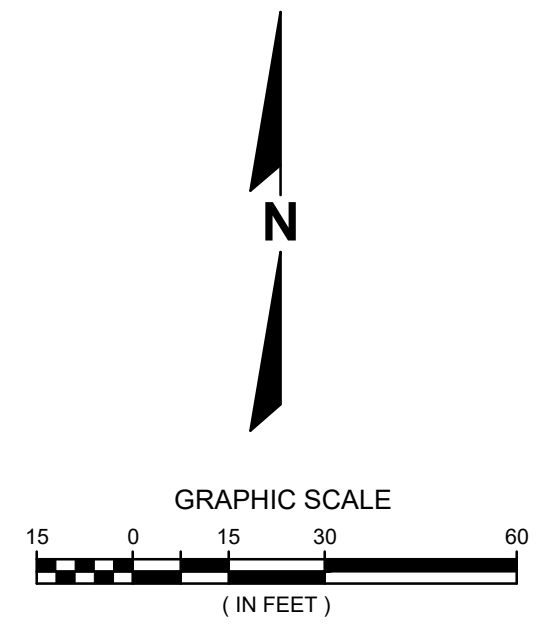
REVISION SCHEDULE
REV. # DESCRIPTION DATE

SITE PLAN

C200

NOTES:

- SEE STRUCTURAL PLANS FOR LOCATIONS AND DETAILS OF BOLLARDS.
- DIMENSIONS TO EDGE OF PAVEMENT.



SITE STATISTICS	
Square Footage	104,824 SF
Percent Site Coverage	89.40%
Percent Open/Green Space	10.60%

LEGEND	
	PROPOSED HEAVY DUTY CONCRETE PAVEMENT
	PROPOSED HEAVY DUTY BITUMINOUS PAVEMENT
	PROPOSED STONE MULCH
	PROPOSED TURF AREA
	INDICATES PROPOSED FENCE
	EXISTING PROPERTY LINE



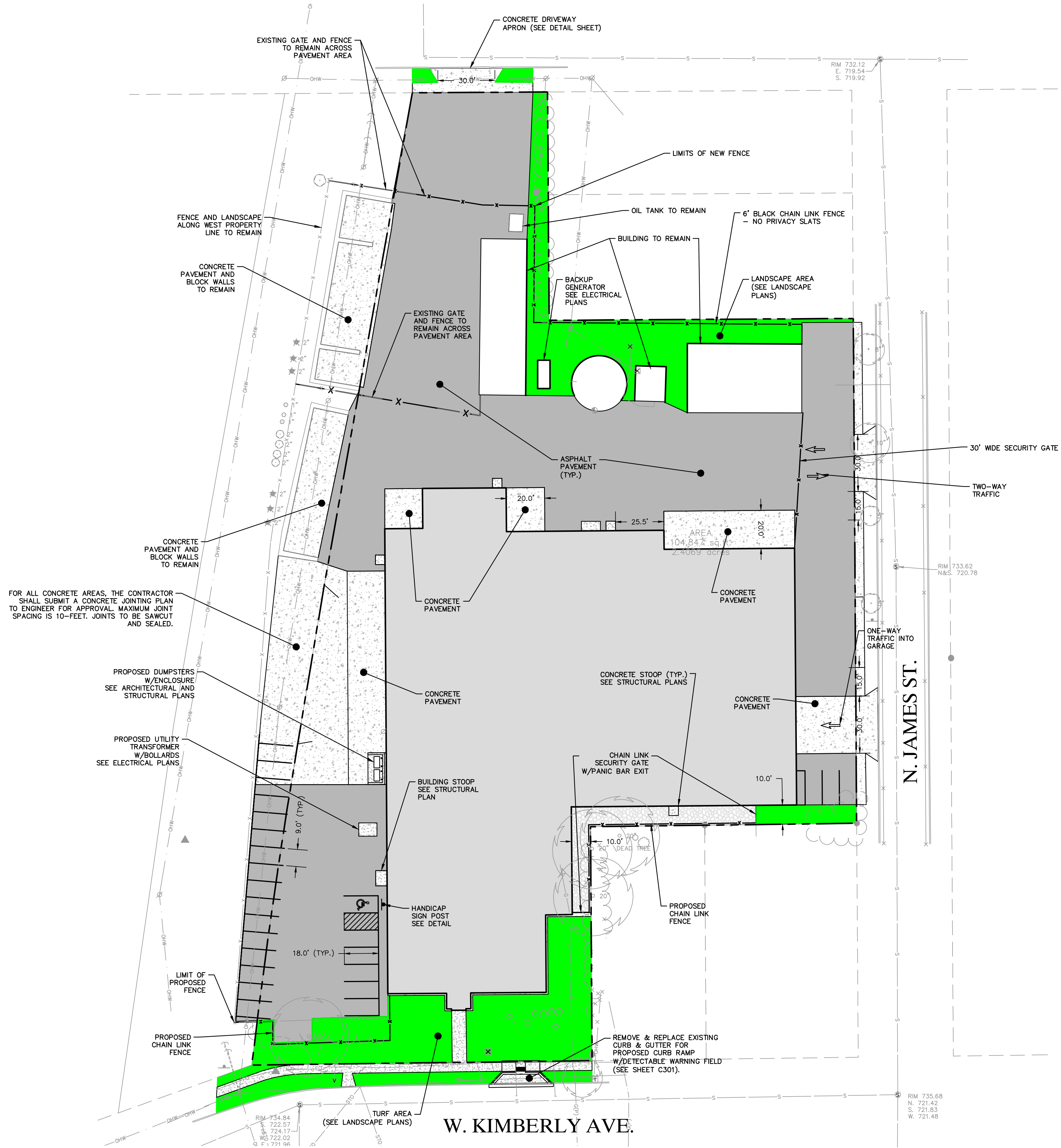
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FOR ALL CONCRETE AREAS, THE CONTRACTOR SHALL SUBMIT A CONCRETE JOINTING PLAN TO ENGINEER FOR APPROVAL. MAXIMUM JOINT SPACING IS 10- FEET. JOINTS TO BE SAWCUT AND SEALED.

PROPOSED DUMPSTERS W/ENCLOSURE SEE ARCHITECTURAL AND STRUCTURAL PLANS

PROPOSED UTILITY TRANSFORMER W/BOLLARDS SEE ELECTRICAL PLANS

LIMIT OF PROPOSED FENCE

PROPOSED CHAIN LINK FENCE

TURF AREA (SEE LANDSCAPE PLANS)

W. KIMBERLY AVE.

N. JAMES ST.



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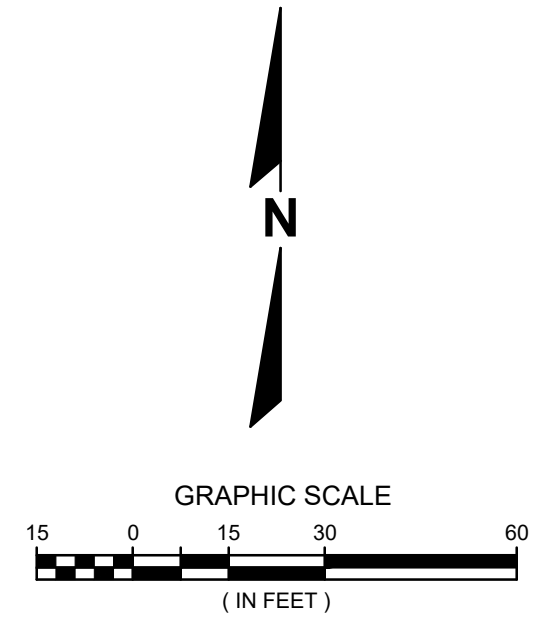
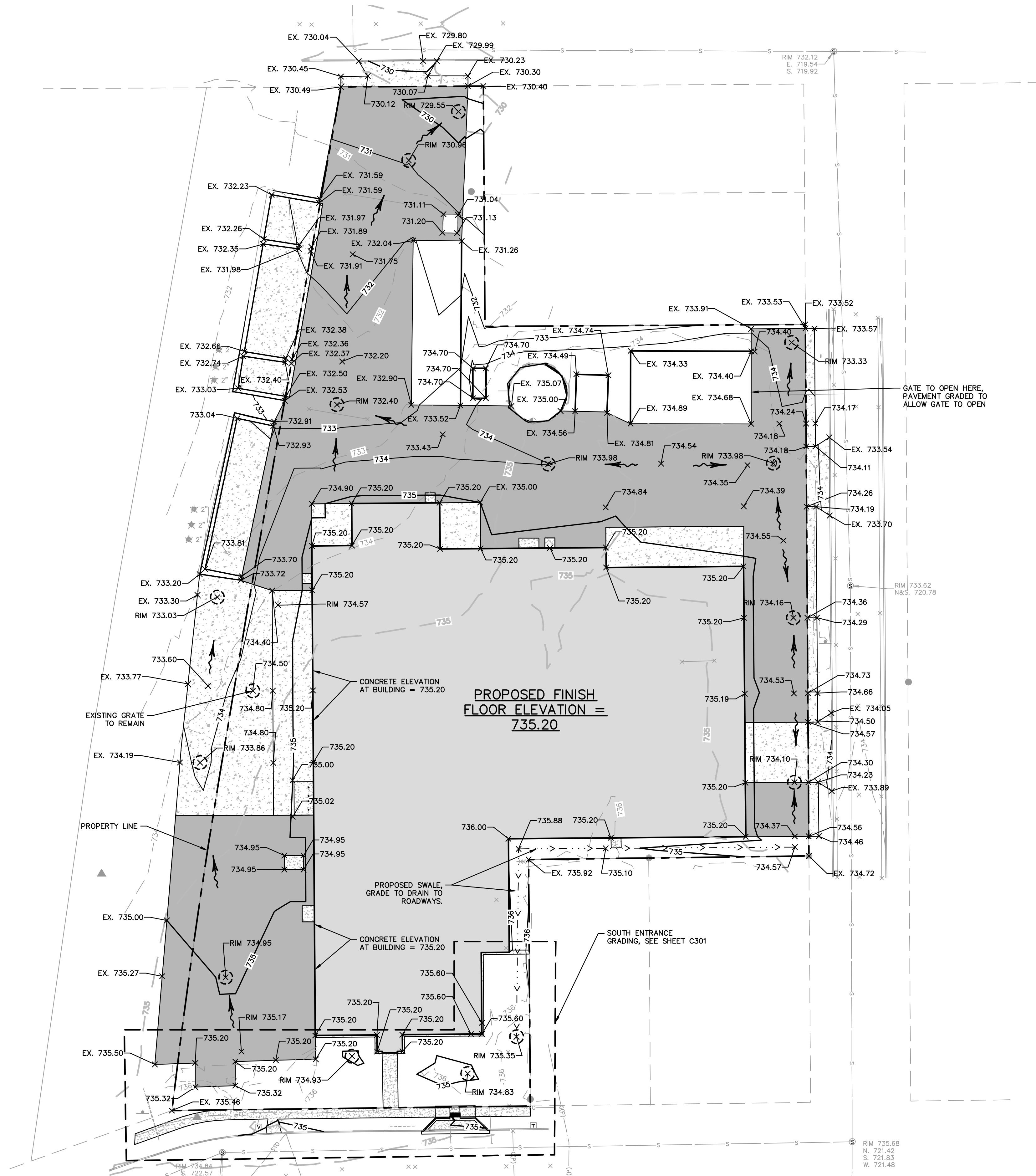
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SITE PLAN REVIEW 12-18-2023

REVISION SCHEDULE
REV. # DESCRIPTION DATE

GRADING & EROSION CONTROL PLAN

C300



LEGEND

- INDICATES EXISTING PROPERTY LINE
- ~ SURFACE WATER FLOW
- STORM DRAIN INLET PROTECTION (SEE DETAIL)
- 600— PROPOSED CONTOUR & SPOT GRADE
- ×600.00 EXISTING CONTOUR & SPOT GRADE
- × EX. 600.00 EXISTING SPOT GRADE TO MATCH
- × 600.00 PROPOSED FINISHED PAVEMENT SPOT GRADE



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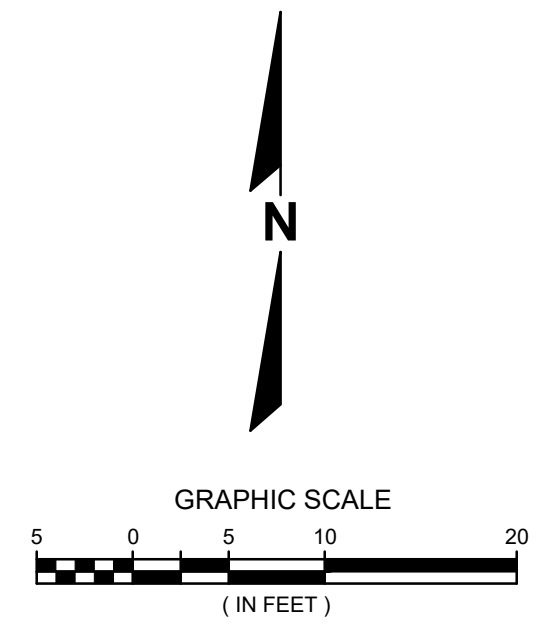
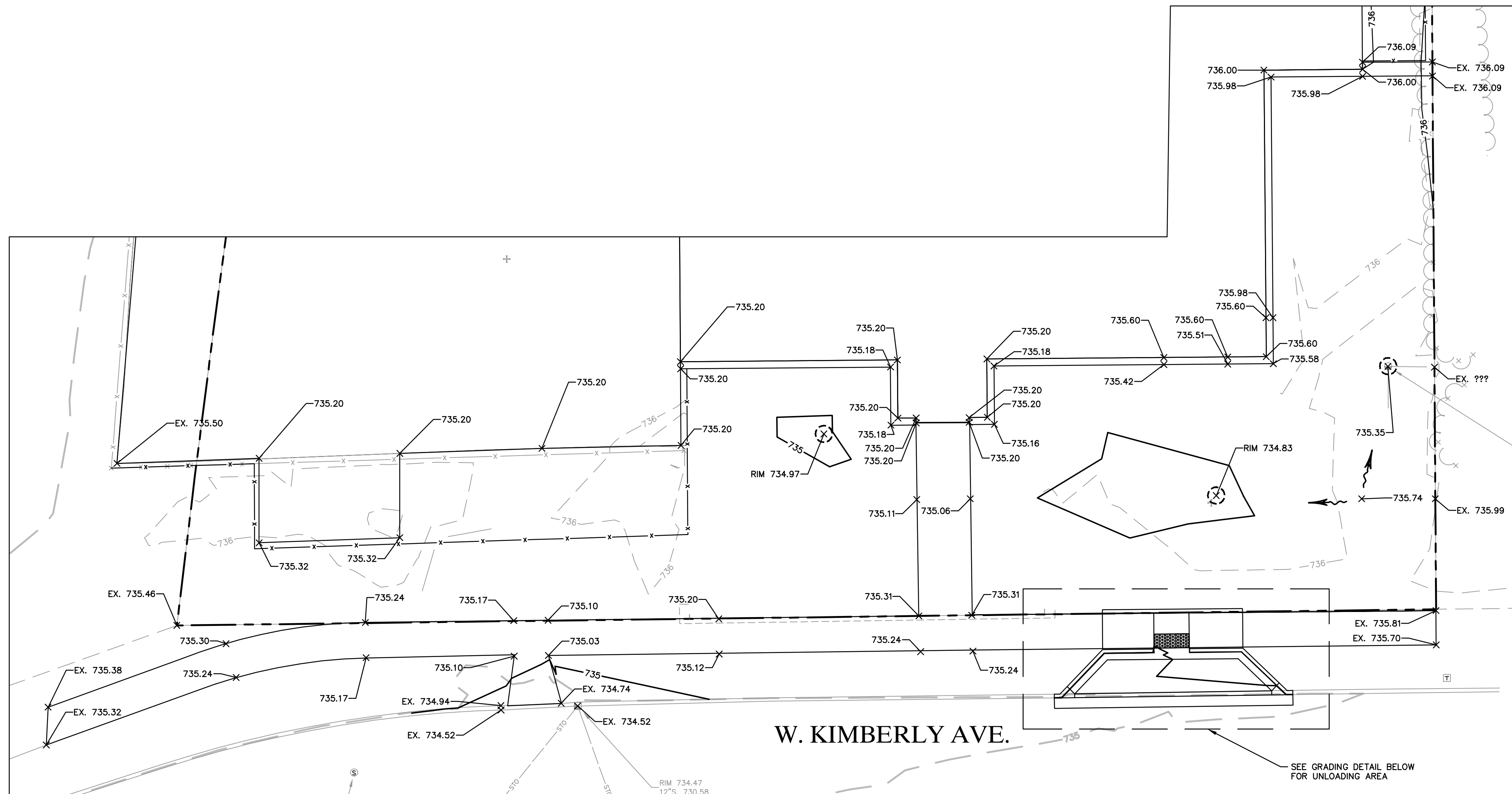
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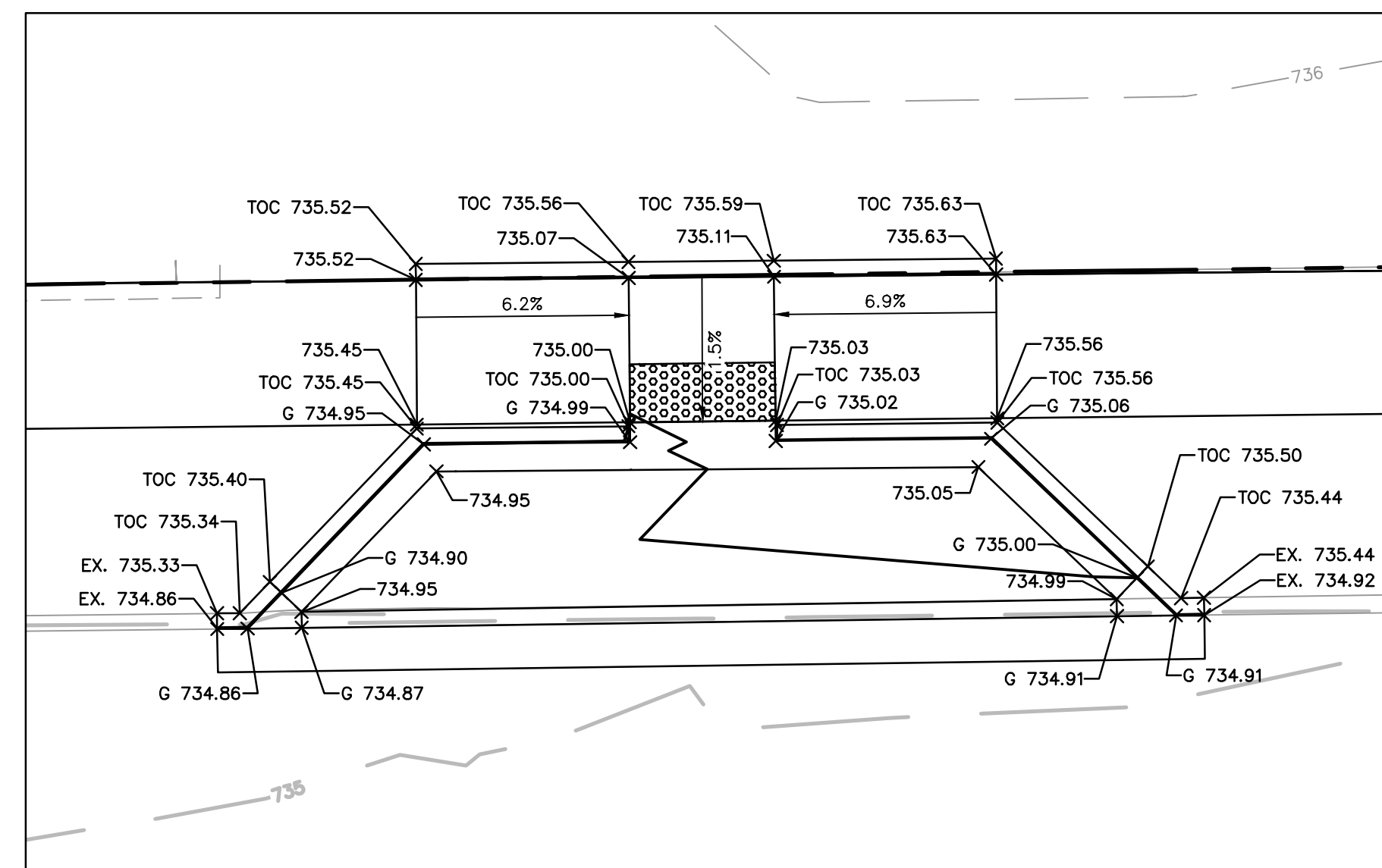
SOUTH ENTRANCE GRADING DETAIL

C301



LEGEND

	INDICATES EXISTING PROPERTY LINE
	STORM DRAIN INLET PROTECTION (SEE DETAIL)
	PROPOSED CONTOUR & SPOT GRADE
	EXISTING CONTOUR & SPOT GRADE
	EXISTING SPOT GRADE TO MATCH
	PROPOSED FINISHED PAVEMENT SPOT GRADE
	PROPOSED TOP OF CURB SPOT GRADE
	PROPOSED GUTTER SPOT GRADE



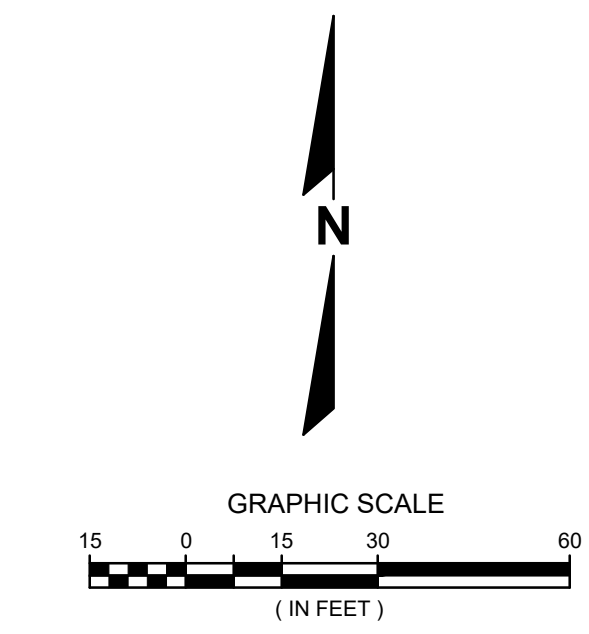
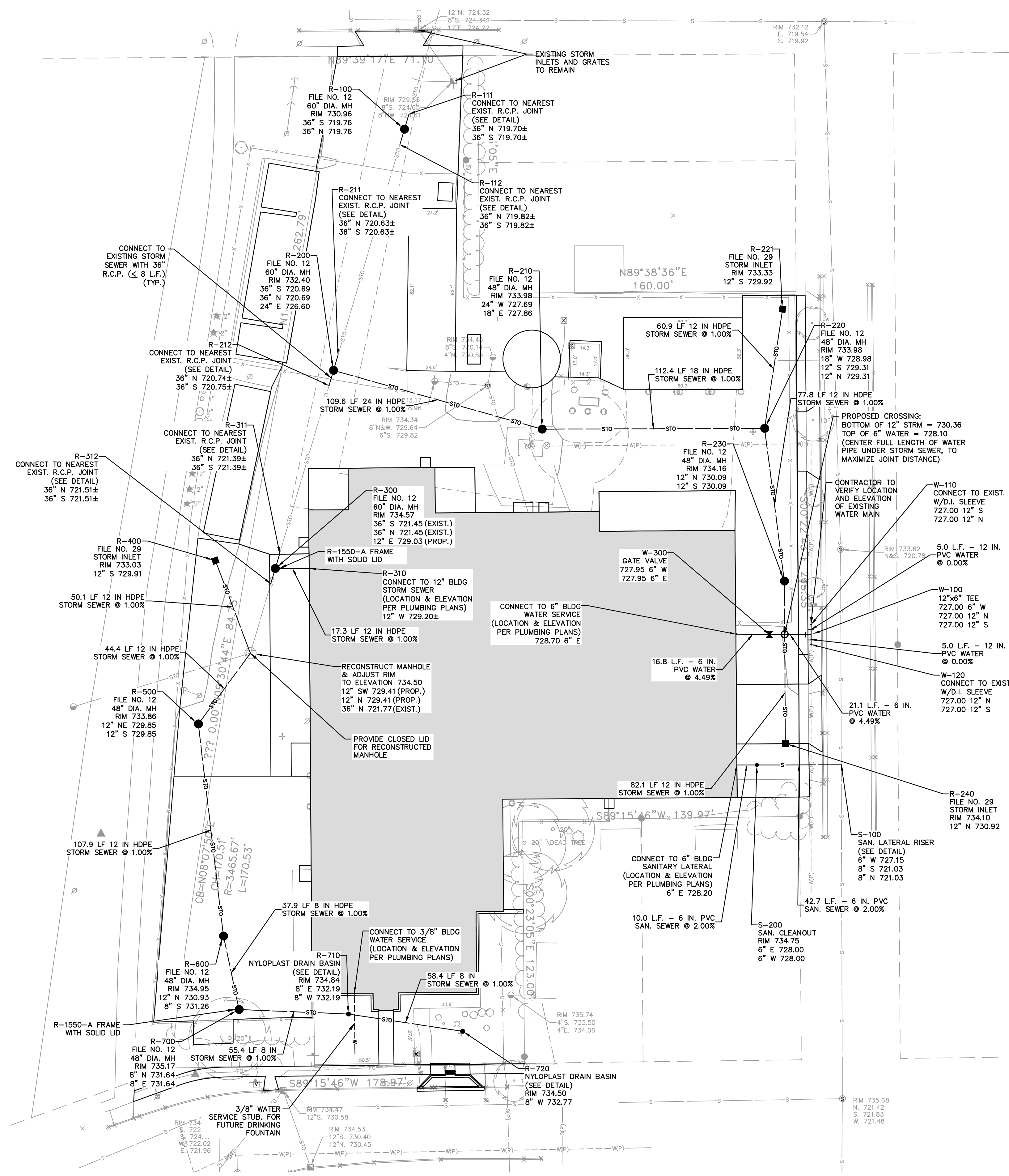
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NOTE: ALL CONNECTIONS WITH EXISTING 36" R.C.P. STORM SEWER SHALL BE MADE TO THE NEAREST BELL/SPIGOT JOINT, NEW RUBBER GASKETS TO BE FURNISHED BY CONTRACTOR.



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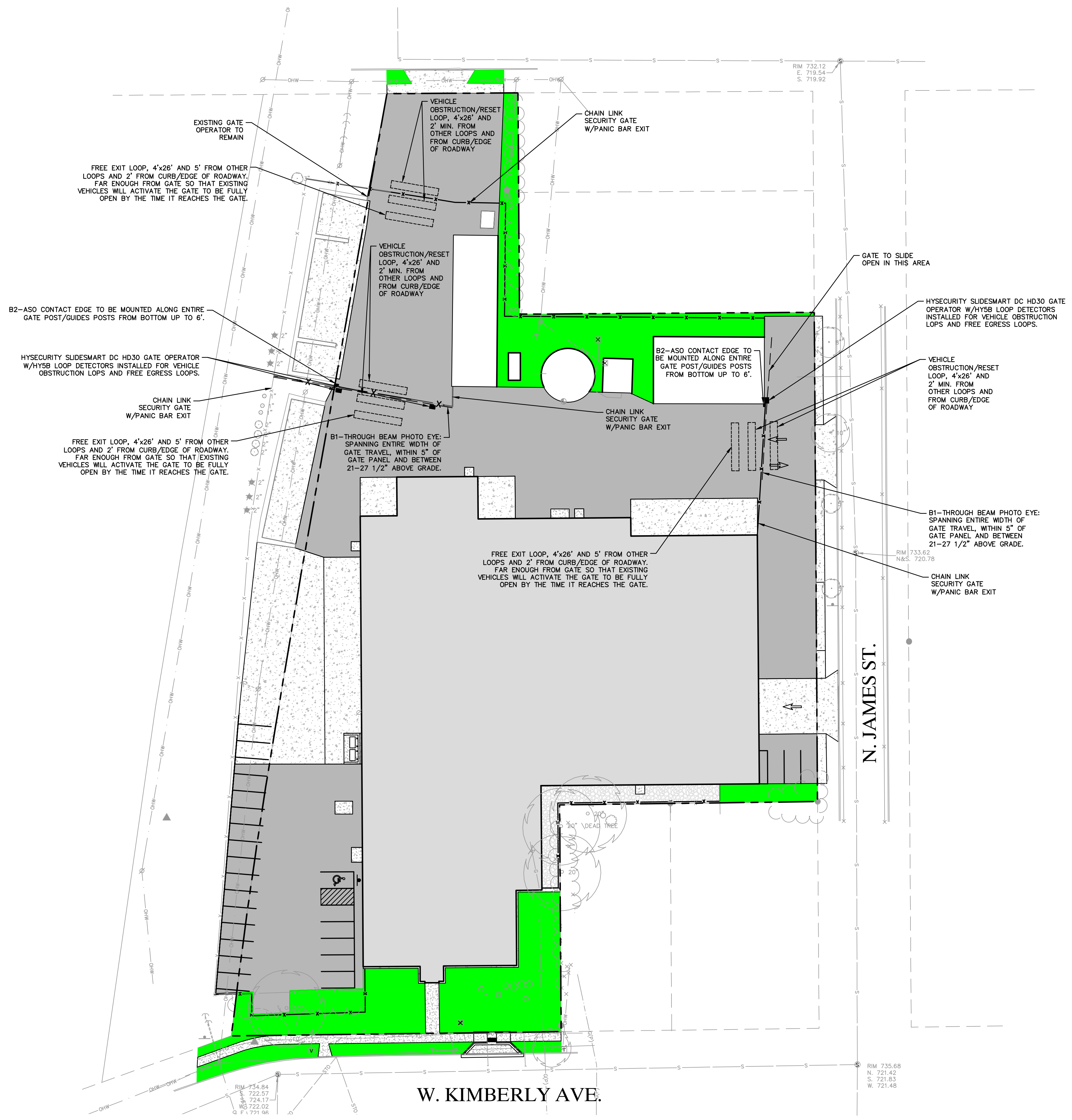
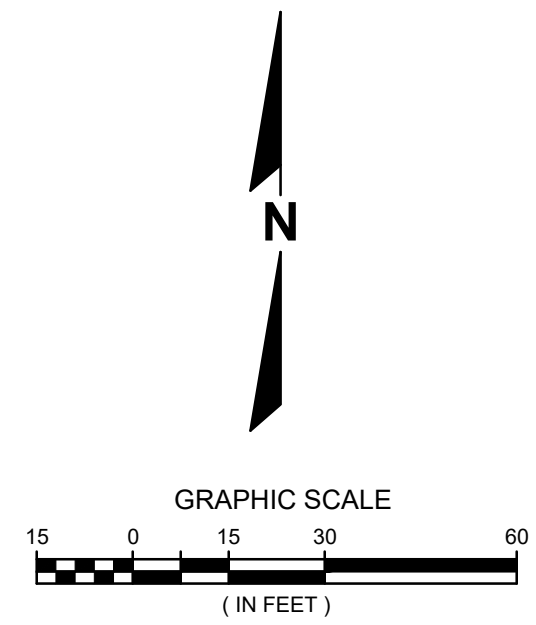
SITE PLAN REVIEW 12-18-2023

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SECURITY GATE SITE PLAN

C500



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RIM 735.68
N. 721.42
S. 721.83
W. 721.48

RIM 734.84
S. 722.57
W. 724.17
F. 722.02
F. 721.88

RIM 732.12
E. 719.54
S. 719.92

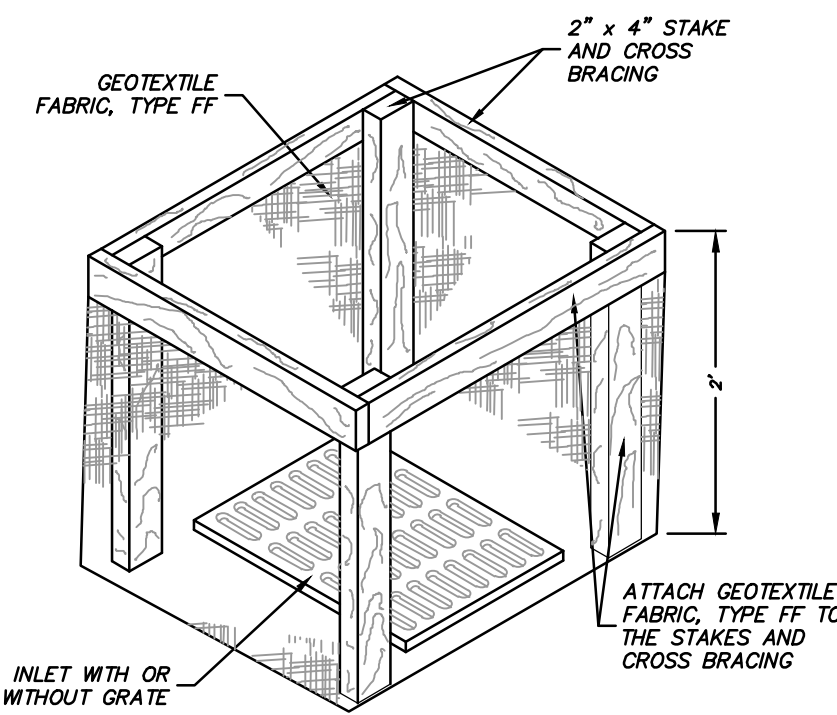
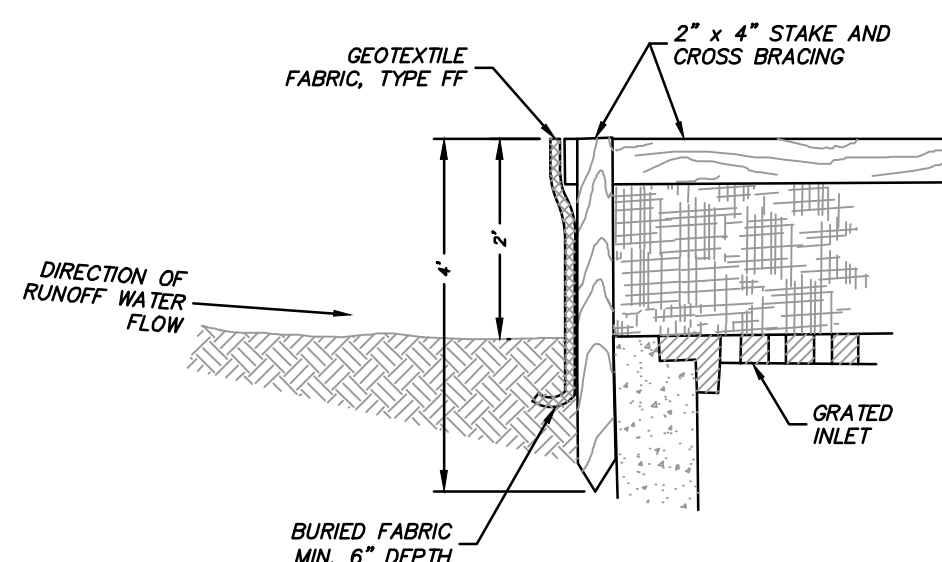
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N&S. 720.78

W. KIMBERLY AVE.

N. JAMES ST.

EROSION CONTROL NOTES:

1. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING COPIES OF ALL PERMITS. CONTRACTOR IS RESPONSIBLE FOR ABIDING BY ALL PERMIT REQUIREMENTS AND RESTRICTIONS.
2. ALL INSTALLATION AND MAINTENANCE OF EROSION CONTROL PRACTICES SHALL BE IN ACCORDANCE WITH THE APPLICABLE WISCONSIN DEPARTMENT OF NATURAL RESOURCES (WDNR) TECHNICAL STANDARD.
3. ALL EROSION CONTROL FACILITIES SHALL BE MAINTAINED THROUGHOUT THE DURATION OF THE PROJECT AND WARRANTY PERIOD IN CONFORMANCE WITH THE DNR WPDES GENERAL PERMIT.
4. ALL EROSION AND SEDIMENTATION CONTROL PRACTICES SHALL BE INSPECTED WEEKLY AND WITHIN 24 HOURS AFTER EVERY PRECIPITATION EVENT THAT PRODUCES 0.5 INCHES OF RAIN OR MORE DURING A 24 HOUR PERIOD. NEEDED REPAIRS WILL BE MADE IMMEDIATELY.
5. ALL DISTURBED GROUND LEFT INACTIVE FOR FOURTEEN DAYS OR MORE SHALL BE STABILIZED WITH TOPSOIL, SEED, AND MULCH IN ACCORDANCE WITH THE WDNR TECHNICAL STANDARDS 1059 AND 1058.
6. TEMPORARY SEED MIXTURE SHALL CONFORM TO 630.2.1.5.1.4 OF THE WISDOT STANDARD SPECIFICATIONS. USE WINTER WHEAT OR RYE FOR FALL PLANTINGS STARTED AFTER SEPTEMBER 1.
7. DISTURBED AREAS THAT CANNOT BE STABILIZED WITH A DENSE GROWTH OF VEGETATION BY SEEDING AND MULCHING DUE TO TEMPERATURE OR TIMING OF CONSTRUCTION, SHALL BE STABILIZED BY APPLYING ANIONIC POLYACRYLAMIDE (PAM) IN ACCORDANCE WITH WDNR TECHNICAL STANDARD 1050.
8. SEDIMENT WILL BE REMOVED FROM BEHIND THE SILT FENCE WHEN IT REACHES HALF THE HEIGHT OF THE FENCE. THE SILT FENCE SHALL BE REPAIRED AS NECESSARY TO MAINTAIN A BARRIER.
9. ALL WATER FROM CONSTRUCTION DEWATERING SHALL BE TREATED IN ACCORDANCE WITH WDNR TECHNICAL STANDARD 1061 PRIOR TO DISCHARGE TO WATERS OF THE STATE, WETLANDS, OR OFFSITE.
10. THE CONTRACTOR IS RESPONSIBLE FOR INSTALLATION OF ANY ADDITIONAL EROSION CONTROL MEASURES NECESSARY TO PREVENT EROSION AND SEDIMENTATION. ALL DISTURBED AREAS ARE TO DRAIN TO APPROVED SEDIMENT CONTROL MEASURES AT ALL TIMES DURING SITE DEVELOPMENT UNTIL FINAL STABILIZATION IS ACHIEVED. DEPENDING ON HOW THE CONTRACTOR GRADES THE SITE, IT MAY BE NECESSARY TO INSTALL TEMPORARY SEDIMENT TRAPS IN VARIOUS LOCATIONS THROUGHOUT THE PROJECT. TEMPORARY SEDIMENT TRAPS SHALL BE DESIGNED, INSTALLED, AND MAINTAINED IN ACCORDANCE WITH WDNR TECHNICAL STANDARD 1063.
11. ANY SEDIMENT TRACKED ONTO A PUBLIC OR PRIVATE ROAD SHOULD BE REMOVED BY STREET CLEANING, NOT FLUSHING, BEFORE THE END OF EACH WORKING DAY.
12. DUST CONTROL SHALL BE PROVIDED AS NECESSARY IN ACCORDANCE WITH WDNR TECHNICAL STANDARD 1068.
13. FINAL STABILIZATION OF LANDSCAPED AREAS SHALL BE IN ACCORDANCE WITH THE APPROVED LANDSCAPE PLAN.
14. ALL SEEDED AREAS WILL BE FERTILIZED, RESEED AS NECESSARY, AND MULCHED ACCORDING TO SPECIFICATIONS IN THE APPROVED LANDSCAPE PLAN TO MAINTAIN A WOOROUS DENSE VEGETATIVE COVER.

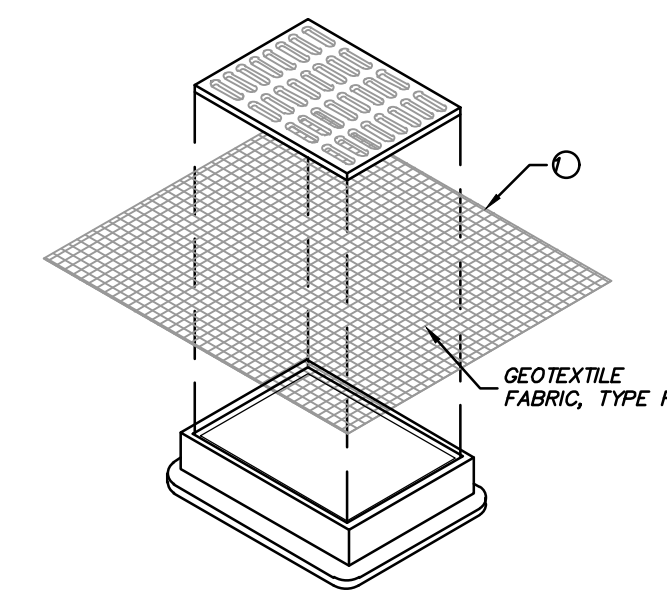


INLET PROTECTION TYPE A

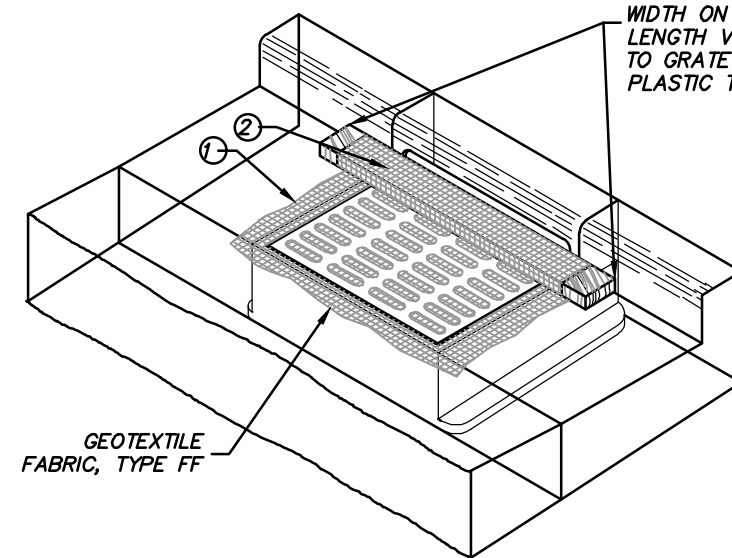
- 1 FINISHED SIZE, INCLUDING FLAP POCKETS WHERE REQUIRED, SHALL EXTEND A MINIMUM OF 10" AROUND THE PERIMETER TO FACILITATE MAINTENANCE OR REMOVAL.
- 2 FOR INLET PROTECTION, TYPE C (WITH CURB BOX), AN ADDITIONAL 18" OF FABRIC IS WRAPPED AROUND THE WOOD AND SECURED WITH STAPLES. THE WOOD SHALL NOT BLOCK THE ENTIRE HEIGHT OF THE CURB BOX OPENING.
- 3 FLAP POCKETS SHALL BE LARGE ENOUGH TO ACCEPT WOOD 2X4. THE REBAR, STEEL PIPE, OR WOOD SHALL BE INSTALLED IN THE REAR FLAP AND SHALL NOT BLOCK THE TOP HALF OF THE CURB FACE OPENING.
- 4 SIDE FLAPS SHALL BE A MAXIMUM OF 2" LONG. FOLD THE FABRIC OVER AND REINFORCE WITH MULTIPLE STITCHES.

GENERAL NOTES:

INLET PROTECTION DEVICES SHALL CONFORM TO WDNR CONSERVATION PRACTICE STANDARD 1060 AND BE MAINTAINED OR REPLACED AT THE DIRECTION OF THE ENGINEER.
 MANUFACTURED ALTERNATIVES APPROVED AND LISTED ON THE WISDOT'S EROSION CONTROL PRODUCT ACCEPTABILITY LIST MAY BE SUBSTITUTED IF ALLOWED BY ENGINEER.
 TYPE A IS TO BE USED PRIOR TO PAVING AND INSTALLATION OF CURB AND GUTTER, AND TYPES B, C, AND D ARE TO BE USED AFTER PAVING IS PLACED.
 TYPE A SHALL BE USED AROUND INLETS AND UNPAVED AREAS UNTIL PERMANENT STABILIZATION METHODS HAVE BEEN ESTABLISHED.
 TYPE B SHALL BE USED AFTER THE CASTING AND GRATE ARE IN PLACE, ON INLETS WITHOUT A CURB BOX WHEN TYPE D INLET DEVICES CANNOT BE USED.
 TYPE C SHALL BE USED AFTER THE CASTING AND GRATE ARE IN PLACE, ON STREET INLETS WITH CURB HEADS.
 TYPE D SHALL BE USED IN AREAS WHERE OTHER TYPES OF INLET PROTECTION ARE INCOMPATIBLE WITH ROADWAY AND TRAFFIC CONDITIONS (I.E. POSSIBLE SAFETY HAZARD IF PONDING OCCURS), OR WHERE MORE EFFECTIVE INLET FILTERING IS NEEDED.
 TAPER BOTTOM OF BAG TO MAINTAIN 3" OF CLEARANCE BETWEEN THE BAG AND THE STRUCTURE, MEASURED FROM THE BOTTOM OF THE OVERFLOW OPENINGS TO THE STRUCTURE WALL.
 GEOTEXTILE FABRIC TYPE FF FOR FLAPS, TOP AND BOTTOM OF OUTSIDE OF FILTER BAG. FRONT, BACK, AND BOTTOM OF FILTER BAG BEING ONE PIECE.



INLET PROTECTION TYPE B (WITHOUT CURB BOX)
(CAN BE INSTALLED IN ANY INLET WITHOUT A CURB BOX)



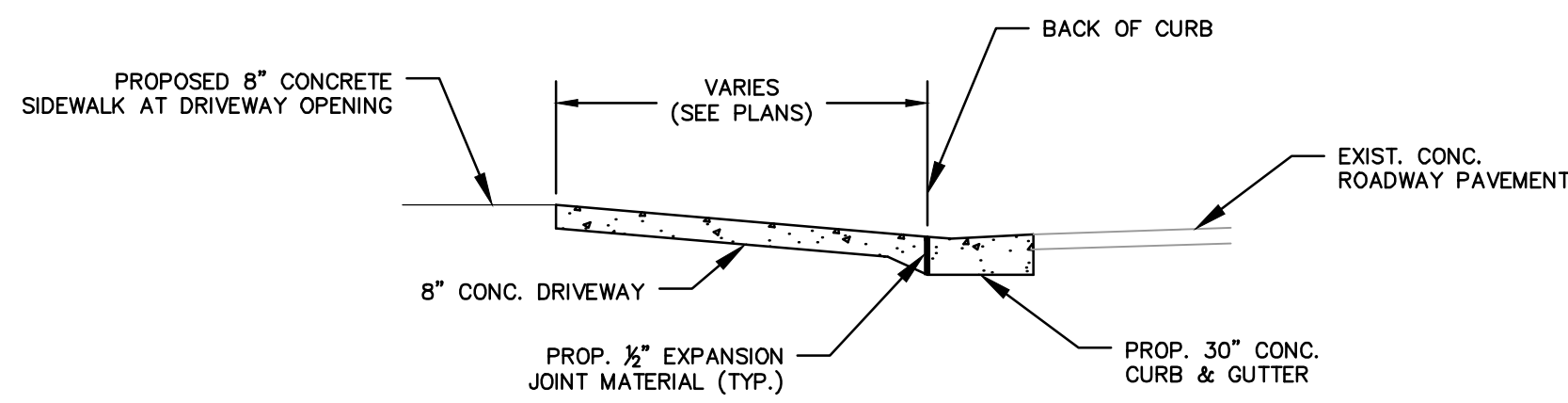
INLET PROTECTION TYPE C (WITH CURB BOX)

INSTALLATION NOTES:

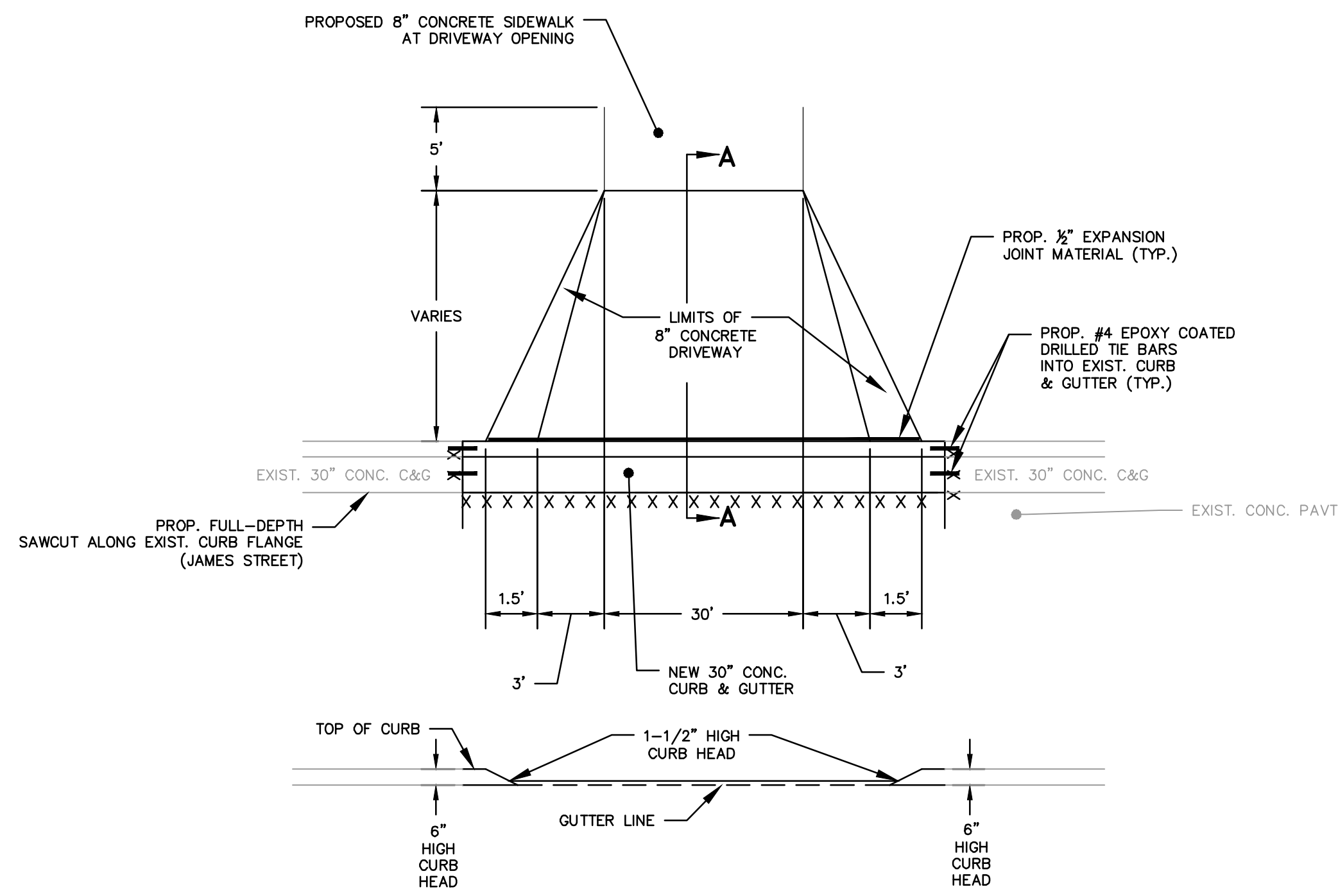
TYPE B & C: TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3" OF THE GRATE.
 THE CONTRACTOR SHALL DEMONSTRATE A METHOD OF MAINTENANCE, USING A SEWN FLAP, HAND HOLDS OR OTHER METHOD TO PREVENT ACCUMULATED SEDIMENT FROM ENTERING THE INLET.
 TYPE D: DO NOT INSTALL INLET PROTECTION TYPE D IN INLETS SHALLOWER THAN 30", MEASURED FROM THE BOTTOM OF THE INLET TO THE TOP OF THE GRATE.
 TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3" OF THE GRATE.
 THE INSTALLED BAG SHALL HAVE A MINIMUM SIDE CLEARANCE, BETWEEN THE INLET WALLS AND THE BAG, MEASURED AT THE BOTTOM OF THE OVERFLOW HOLES, OF 3" WHERE NECESSARY THE CONTRACTOR SHALL CATCH THE BAG, USING PLASTIC ZIP TIES, TO ACHIEVE THE 3" CLEARANCE. THE TIES SHALL BE PLACED AT A MAXIMUM OF 4" FROM THE BOTTOM OF THE BAG.

MAINTENANCE:

REMOVE INLET PROTECTION DEVICES ONCE THE CONTRIBUTING DRAINAGE AREA IS STABILIZED WITH APPROPRIATE VEGETATION OR IMPERVIOUS SURFACE.
 INLET PROTECTION SHALL BE, AT A MINIMUM, INSPECTED WEEKLY AND WITHIN 24 HOURS AFTER EVERY PRECIPITATION EVENT THAT PRODUCES 0.5 INCHES OF RAIN OR MORE DURING A 24-HOUR PERIOD.
 FOR TYPE A, B OR C INLET PROTECTION, SEDIMENT DEPOSITS SHALL BE REMOVED AND THE INLET PROTECTION DEVICE RESTORED TO ITS ORIGINAL DIMENSIONS WHEN THE SEDIMENT HAS ACCUMULATED BETWEEN 1/3 TO 1/2 THE DESIGN DEPTH OF THE DEVICE, OR WHEN THE DEVICE IS NO LONGER FUNCTIONING AS DESIGNED.
 FOR TYPE D INLET PROTECTION (INCLUDING D-M AND D-HR), REMOVE SEDIMENT WHEN SEDIMENT ACCUMULATES TO WITHIN 6" OF THE BOTTOM OF THE OVERFLOW HOLES, OR WHEN STANDING WATER REMAINS WITHIN 6" OF THE BOTTOM OF THE OVERFLOW HOLES 24 HOURS AFTER A RUNOFF EVENT. HOLES IN THE TYPE FF FABRIC MAY BE REPAIRED BY STITCHING IF LESS THAN 2" IN LENGTH, BUT THE FABRIC SHOULD BE REPLACED IF THE HOLES ARE GREATER THAN 2" IN LENGTH IN THE TYPE FF FABRIC OR IF THERE ARE ANY HOLES IN THE TYPE HR FABRIC. THE FILTER MUST ALSO BE REPLACED IF THE FLAP POCKETS SUSTAIN DAMAGE THAT COMPROMISES FILTER INTEGRITY OR THE ABILITY TO PERFORM MAINTENANCE.
 REMOVED SEDIMENT SHALL BE DEPOSITED IN A SUITABLE AREA AND STABILIZED.
 WHEN REMOVING OR MAINTAINING INLET PROTECTION, DUE CARE SHALL BE TAKEN TO ENSURE SEDIMENT DOES NOT FALL INTO THE INLET AND IMPEDE THE INTENDED FUNCTION OF THE DEVICE. ANY MATERIAL FALLING INTO THE INLET SHALL BE REMOVED IMMEDIATELY.

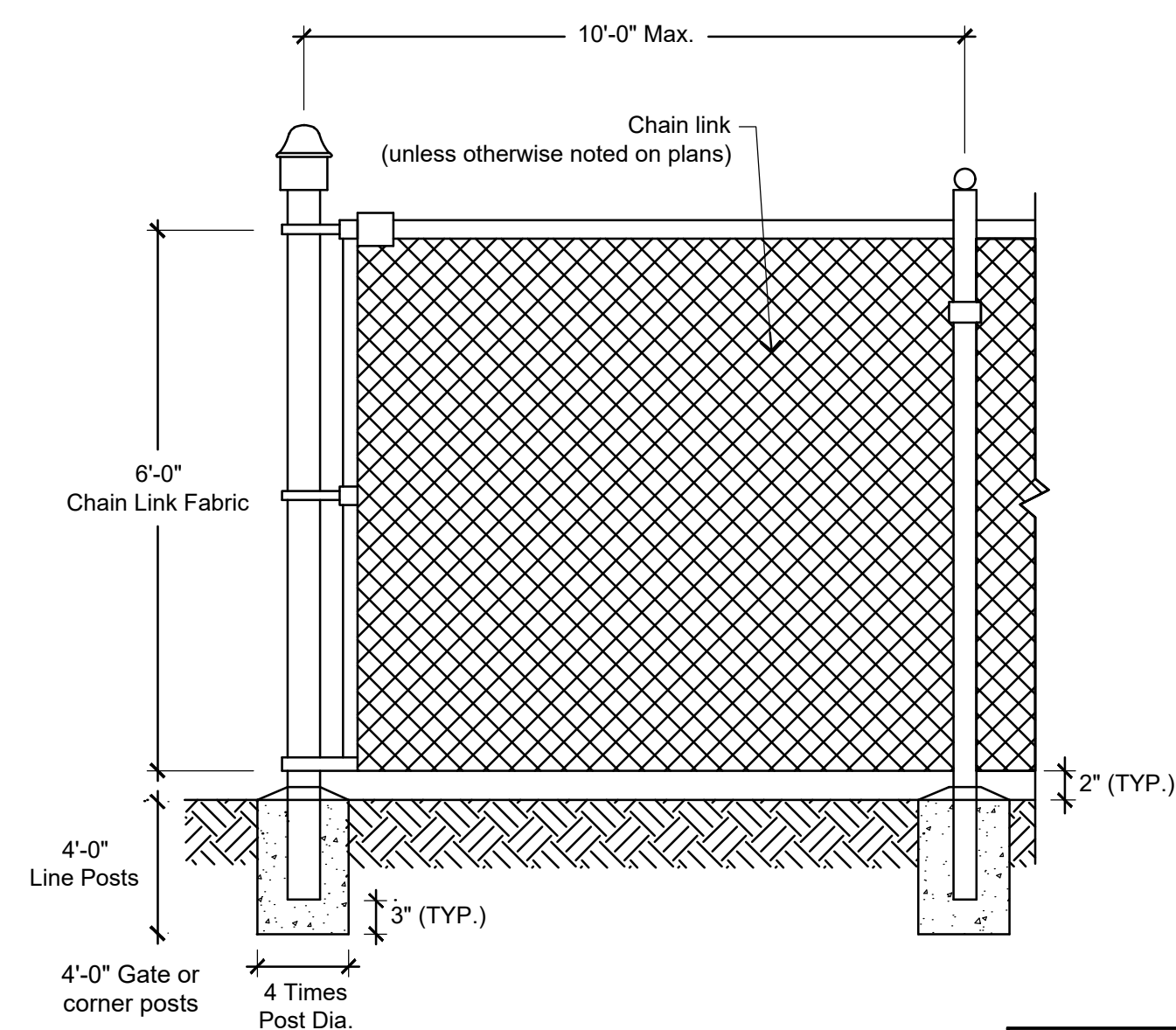


SECTION A-A



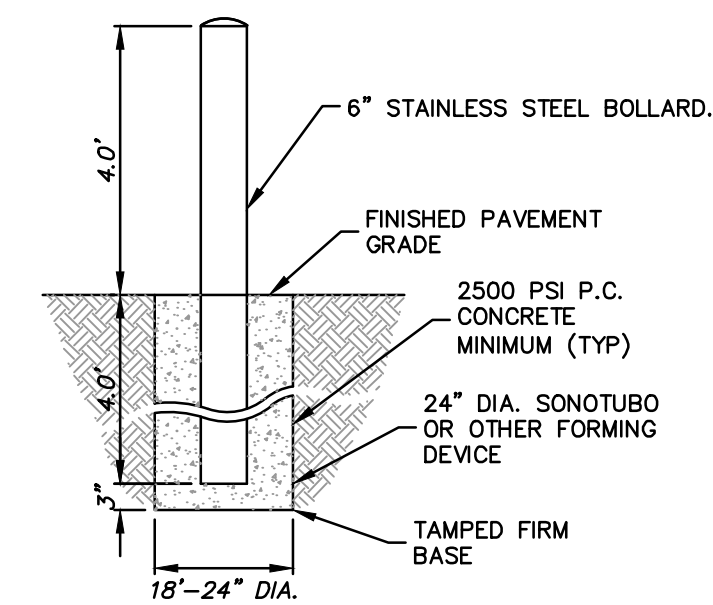
CONCRETE DRIVEWAY APRON DETAIL
N.T.S.

STORM DRAIN INLET PROTECTION DETAIL

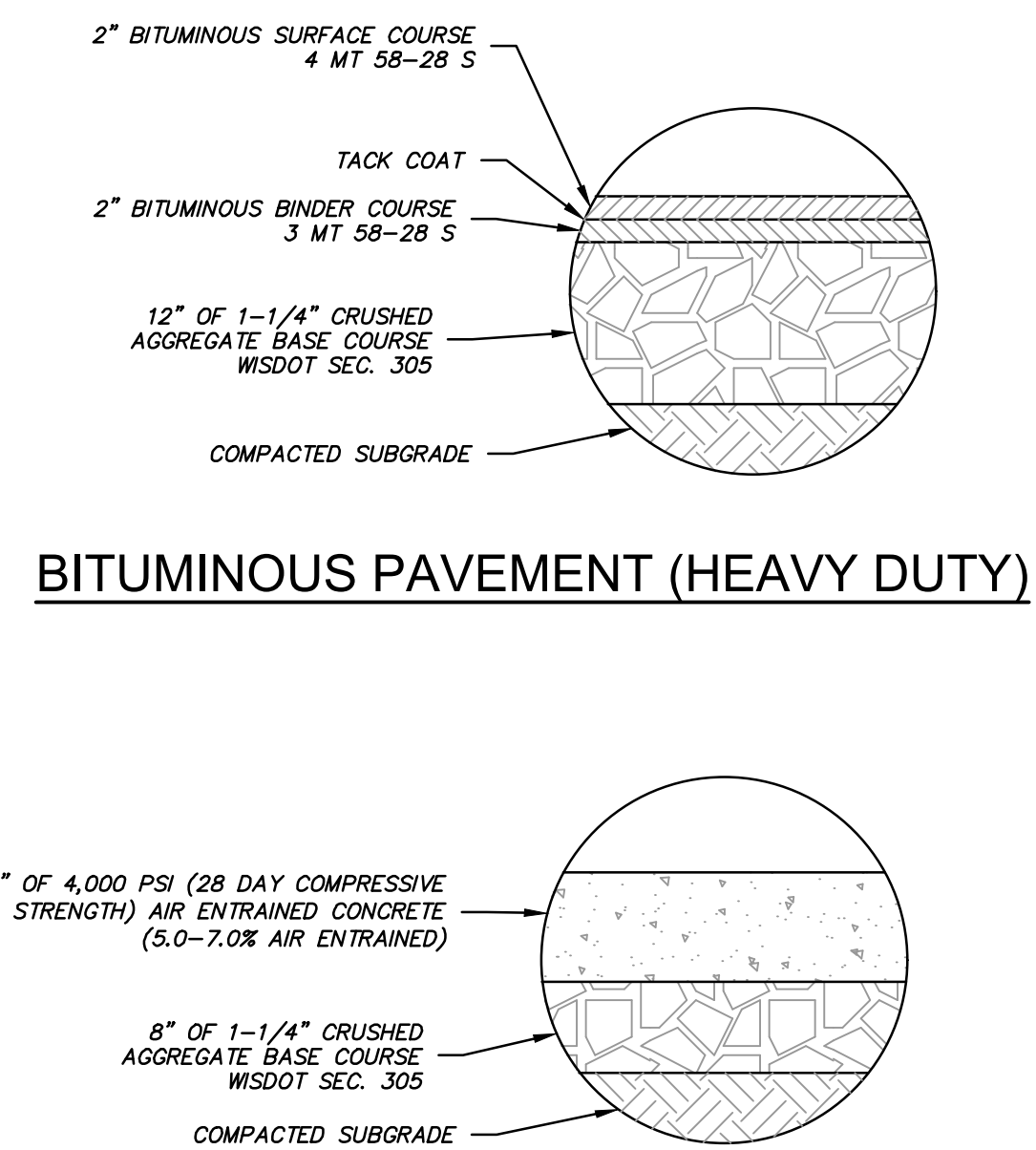


CHAIN LINK FENCE DETAIL
N.T.S.

Contractor shall submit shop drawings to engineer for approval of the size, type, and gauge of materials that will be used for construction of a chain link fence prior to construction.



BOLLARD DETAIL
N.T.S.



BITUMINOUS PAVEMENT (HEAVY DUTY)

CONCRETE PAVEMENT (HEAVY DUTY)



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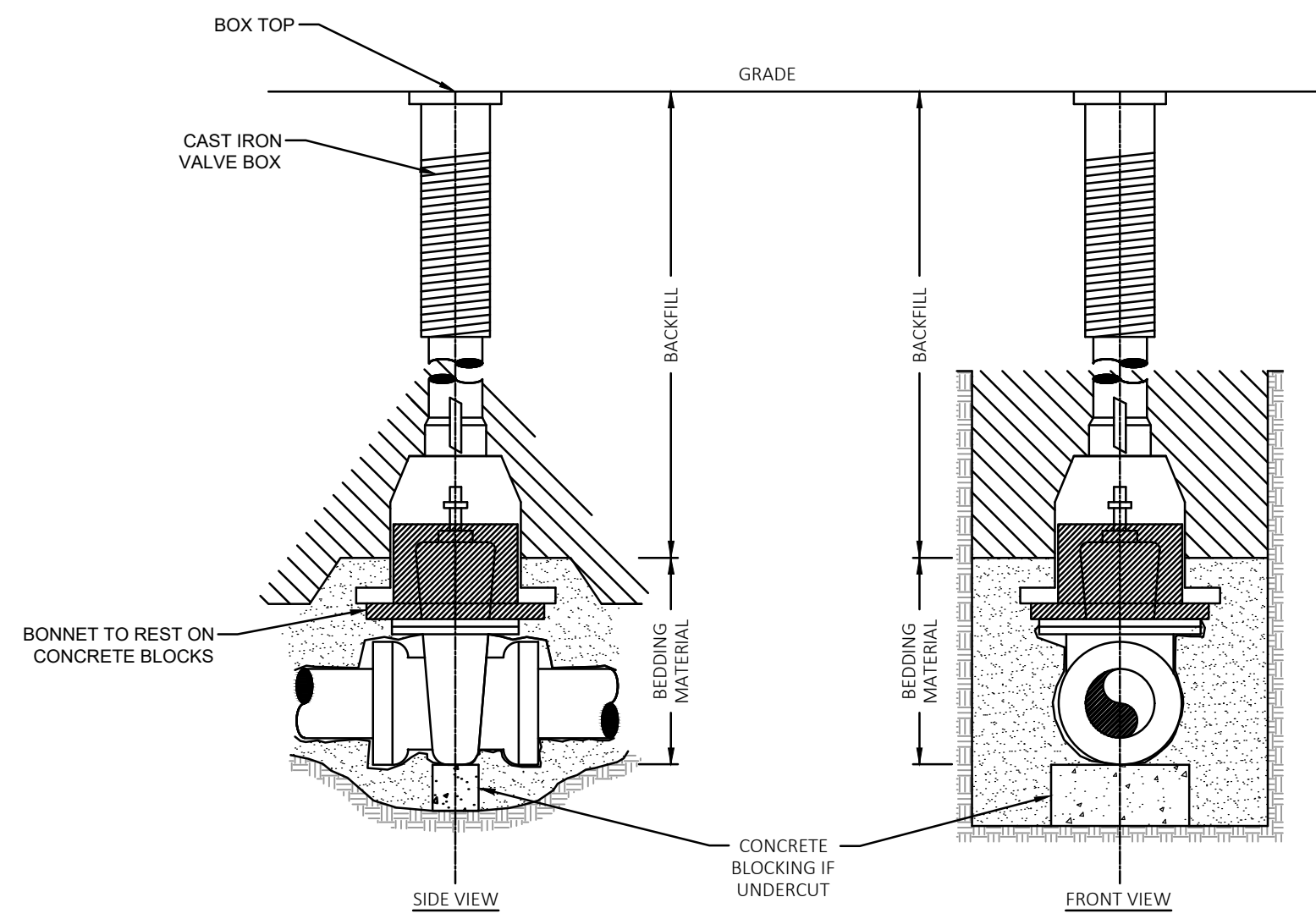
SITE PLAN REVIEW: 12-18-2023

REVISION SCHEDULE

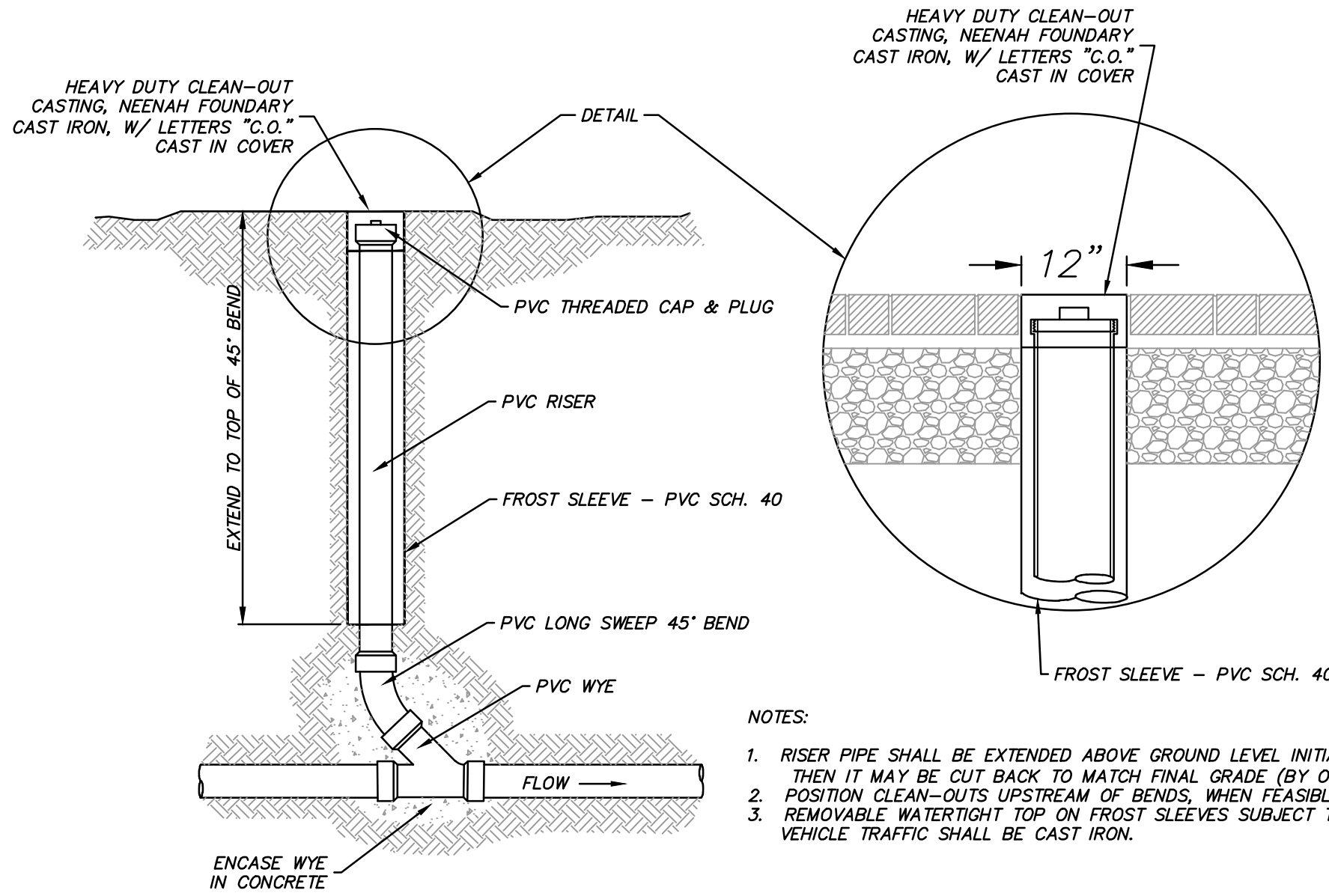
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SITE DETAILS

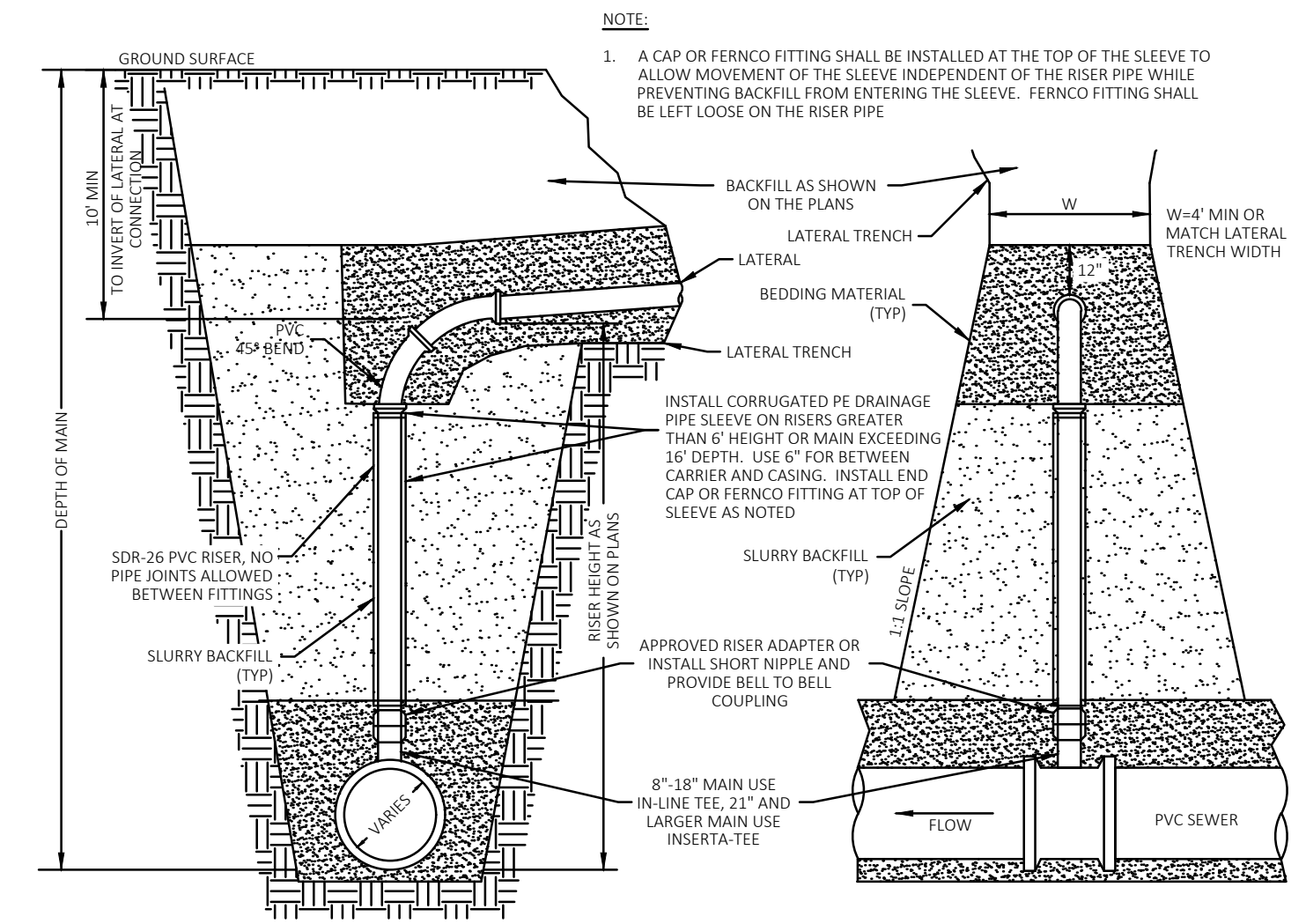
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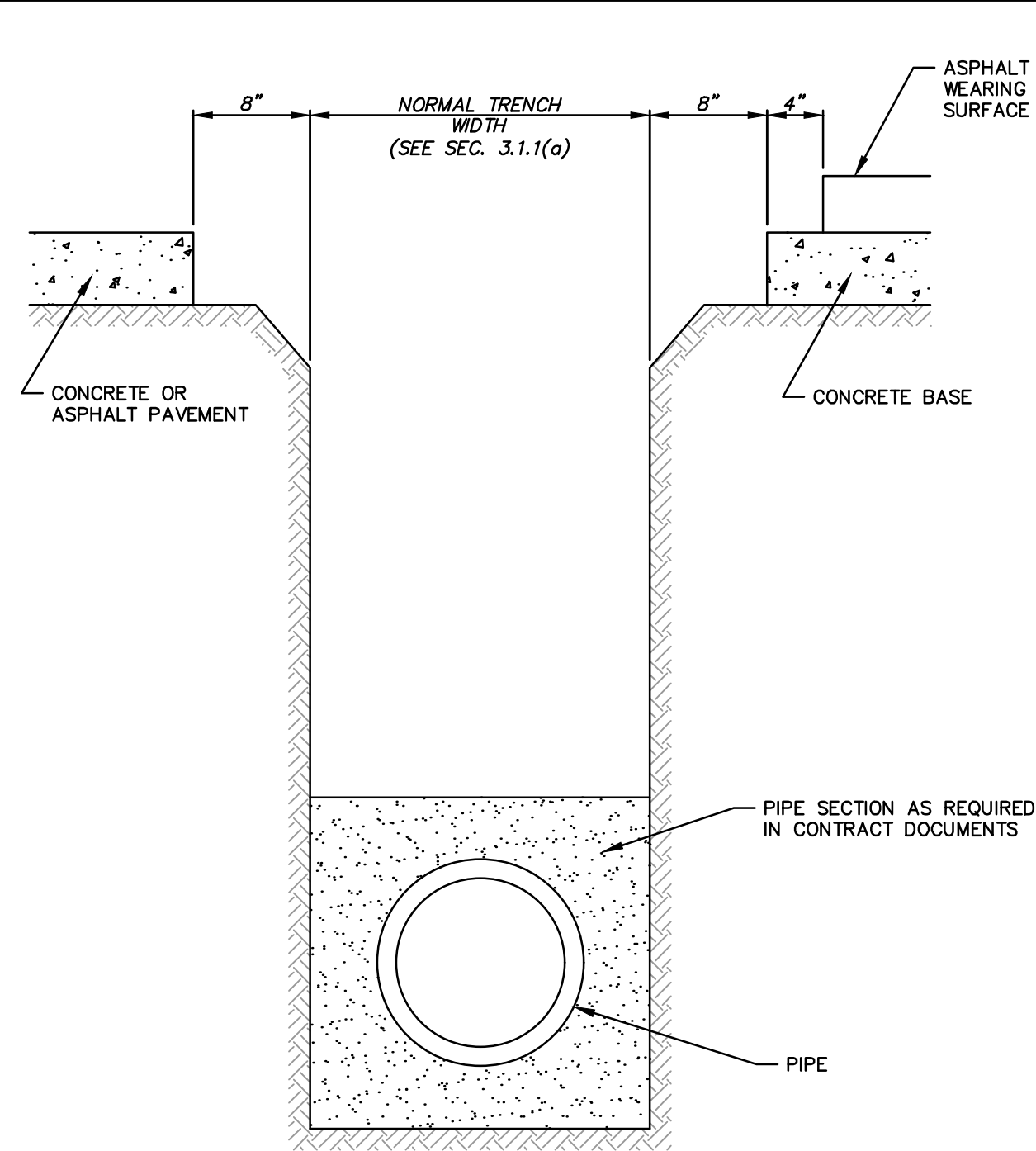
GATE VALVE DETAIL
N.T.S.



SANITARY CLEAN-OUT DETAIL
N.T.S.

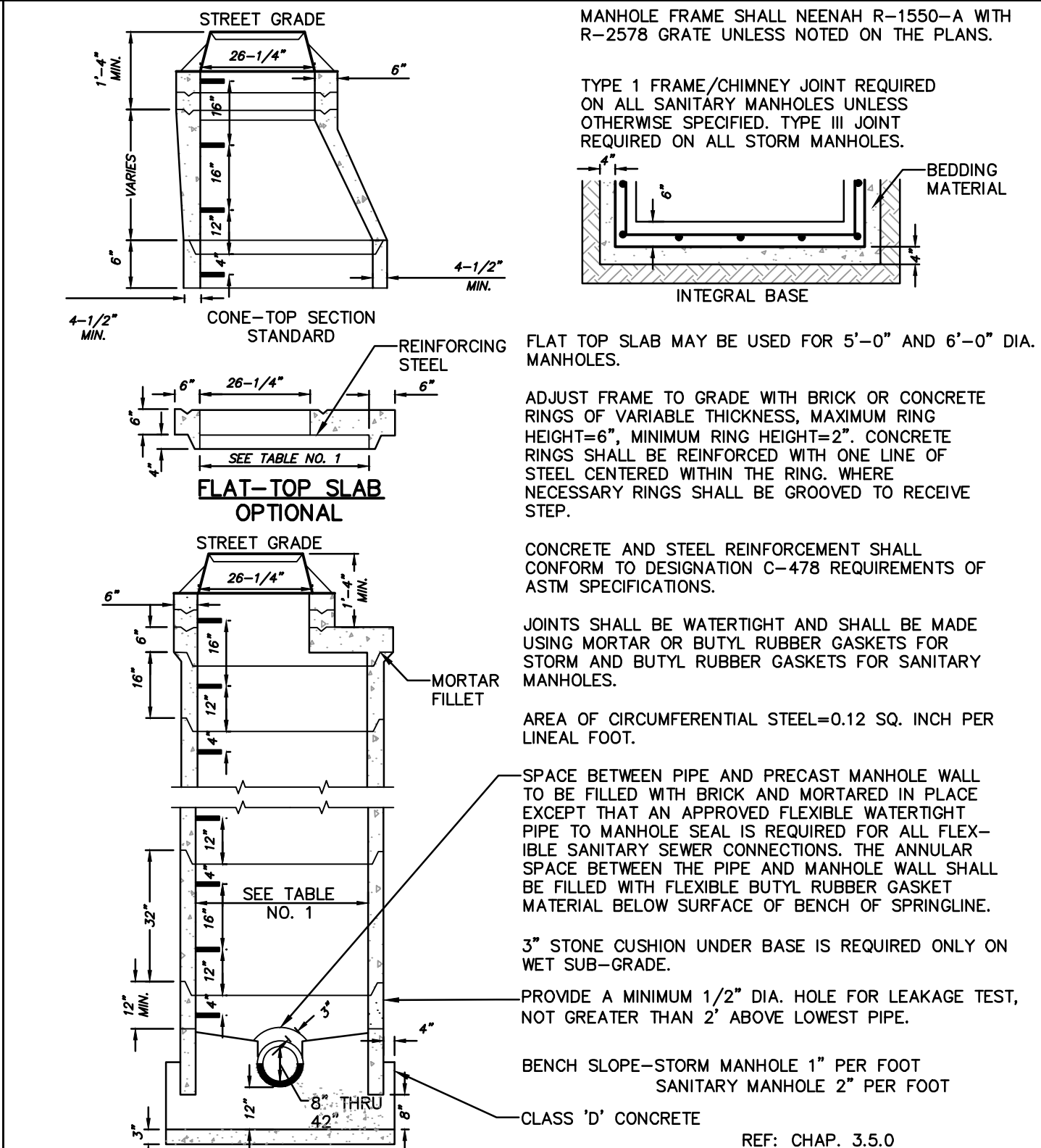


SANITARY LATERAL RISER DETAIL
N.T.S.



REF: SEC. 2.2.6

TYPICAL CUT PAVEMENT TRENCH SECTION	
NOT TO SCALE MARCH 1980	FILE NO. 1

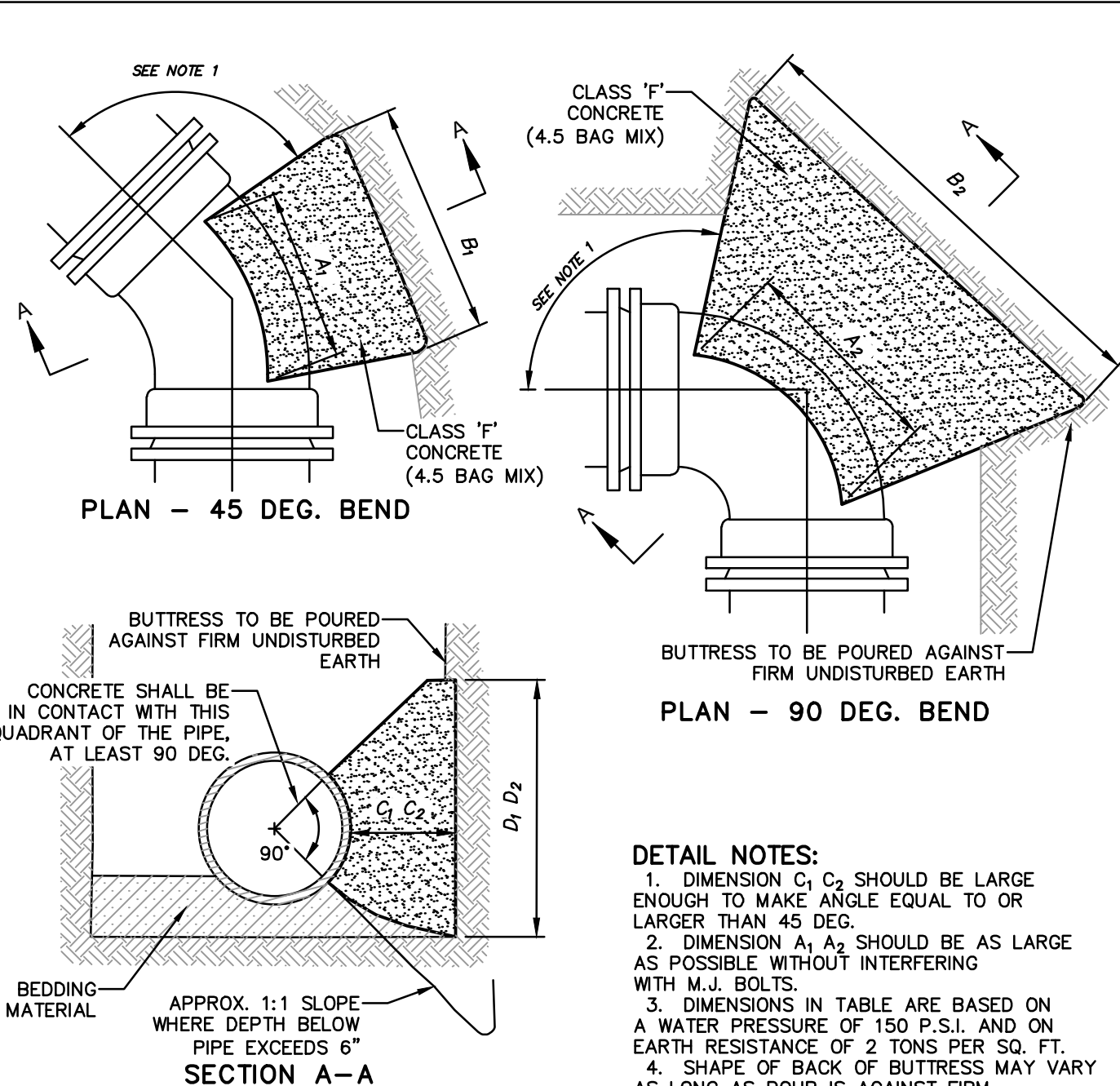


REF: CHAP. 3.5.0

TABLE NO. 1 POURED BASE		
PIPE DIA.	MANHOLE DIA.	WALL THICKNESS
8" THRU 27"	3'-6"	4 1/2"
30"	4'-0"	5"
36"	5'-0"	6"
42"	6'-0"	7"

PRECAST MANHOLE

NOT TO SCALE
JAN. 2, 1992

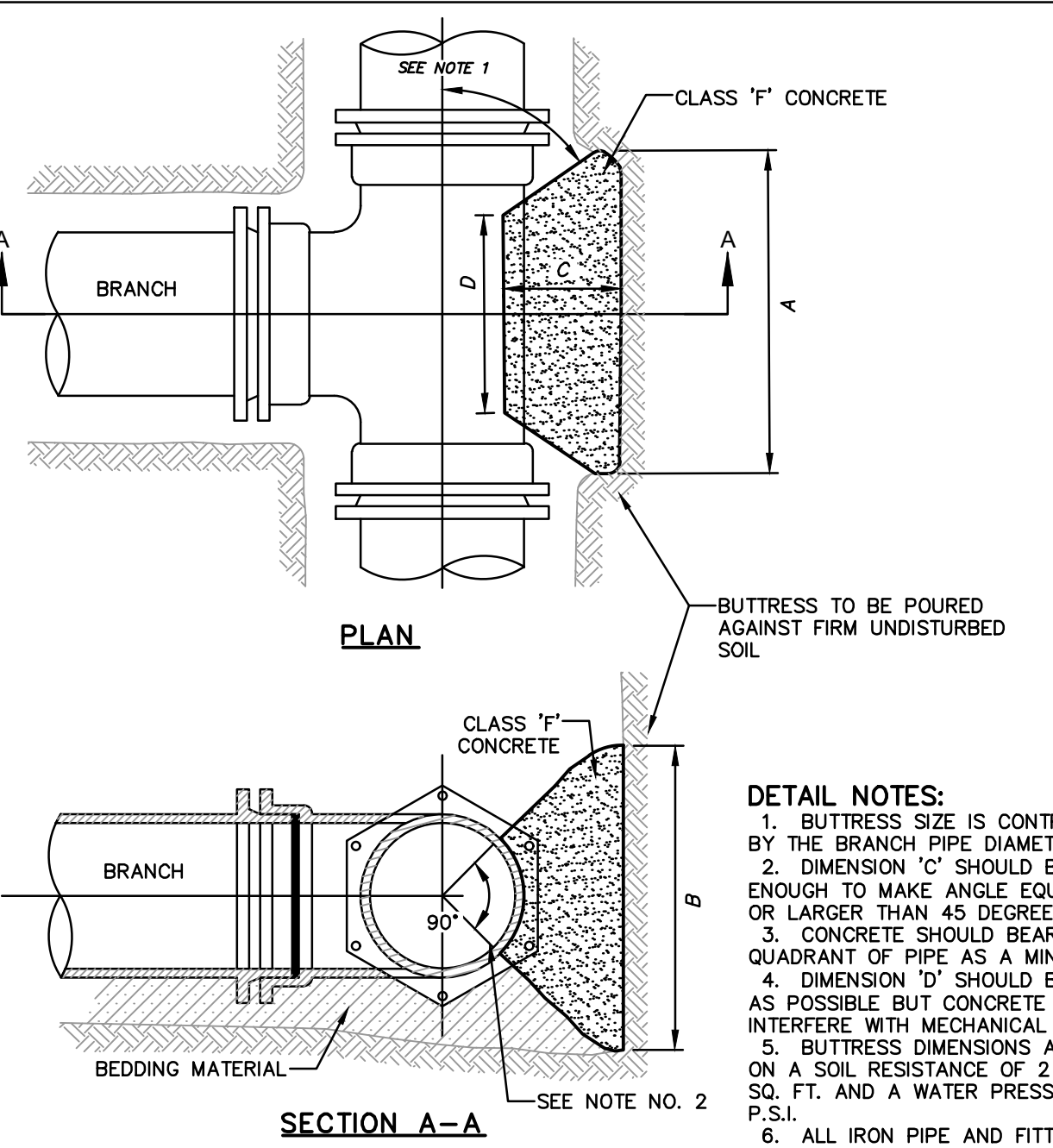


REF: SEC. 4.3.13.

PIPE SIZE	45 DEG. BENDS		90 DEG. BENDS	
	B ₁	D ₁	B ₂	D ₂
4"	0'-10"	1'-3"	1'-6"	1'-4"
6"	1'-4"	1'-8"	2'-2"	1'-10"
8"	1'-11"	2'-0"	3'-0"	2'-4"
10"	1'-11"	2'-0"	3'-0"	2'-4"
12"	2'-1"	2'-6"	3'-7"	2'-8"
16"	3'-0"	3'-0"	5'-6"	3'-0"
20"	3'-9"	3'-9"	6'-9"	3'-9"
24"	4'-7"	4'-3"	8'-4"	4'-4"

BUTTRISS FOR 45 DEG. & 90 DEG. BENDS

NOT TO SCALE
DECEMBER 2003



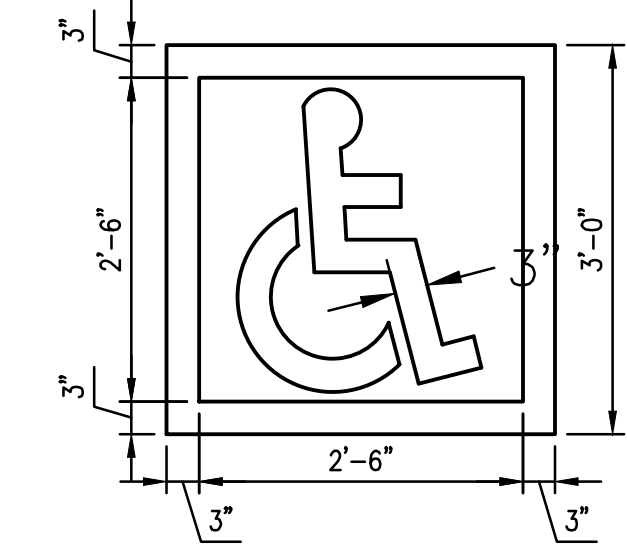
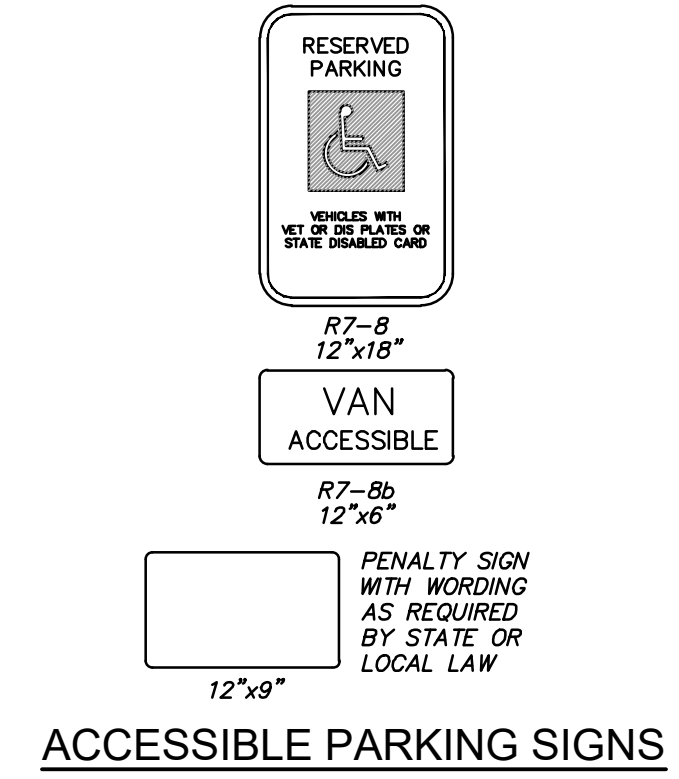
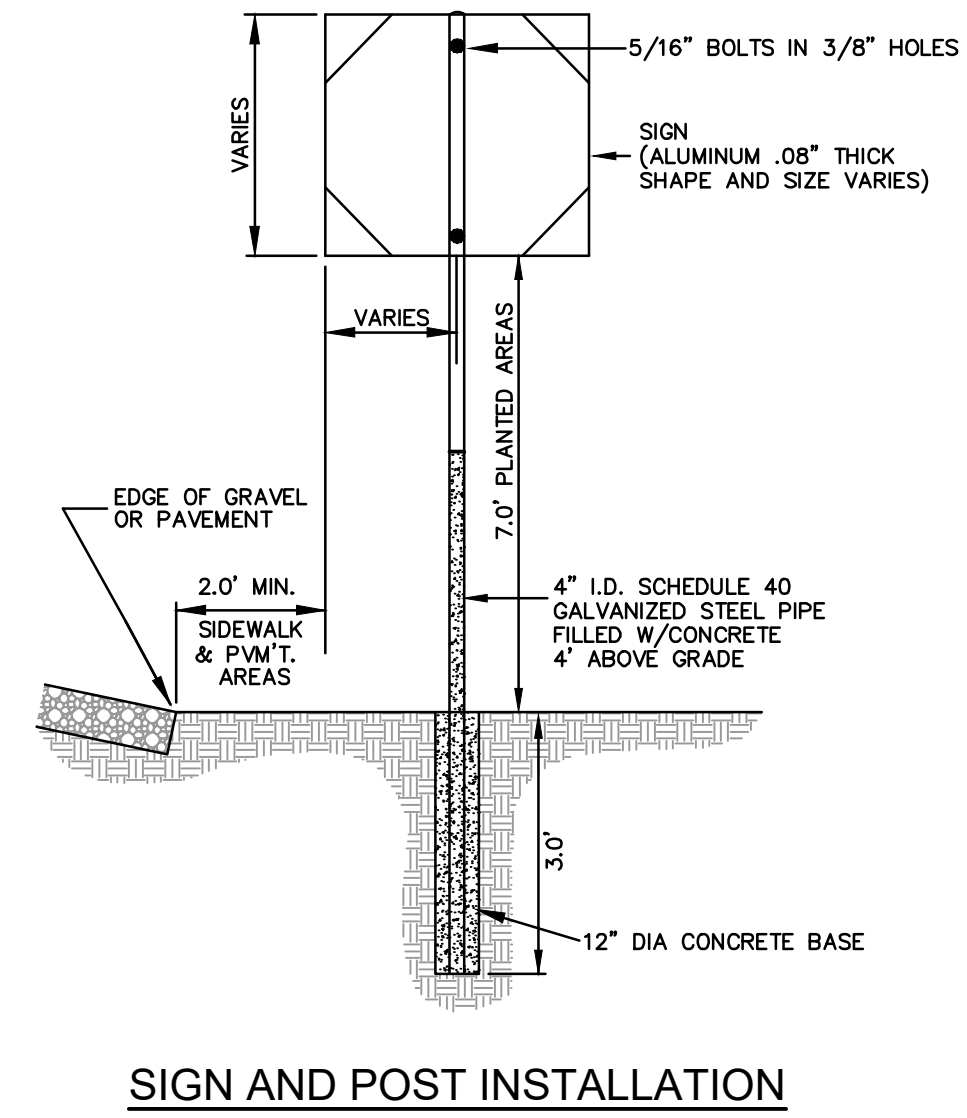
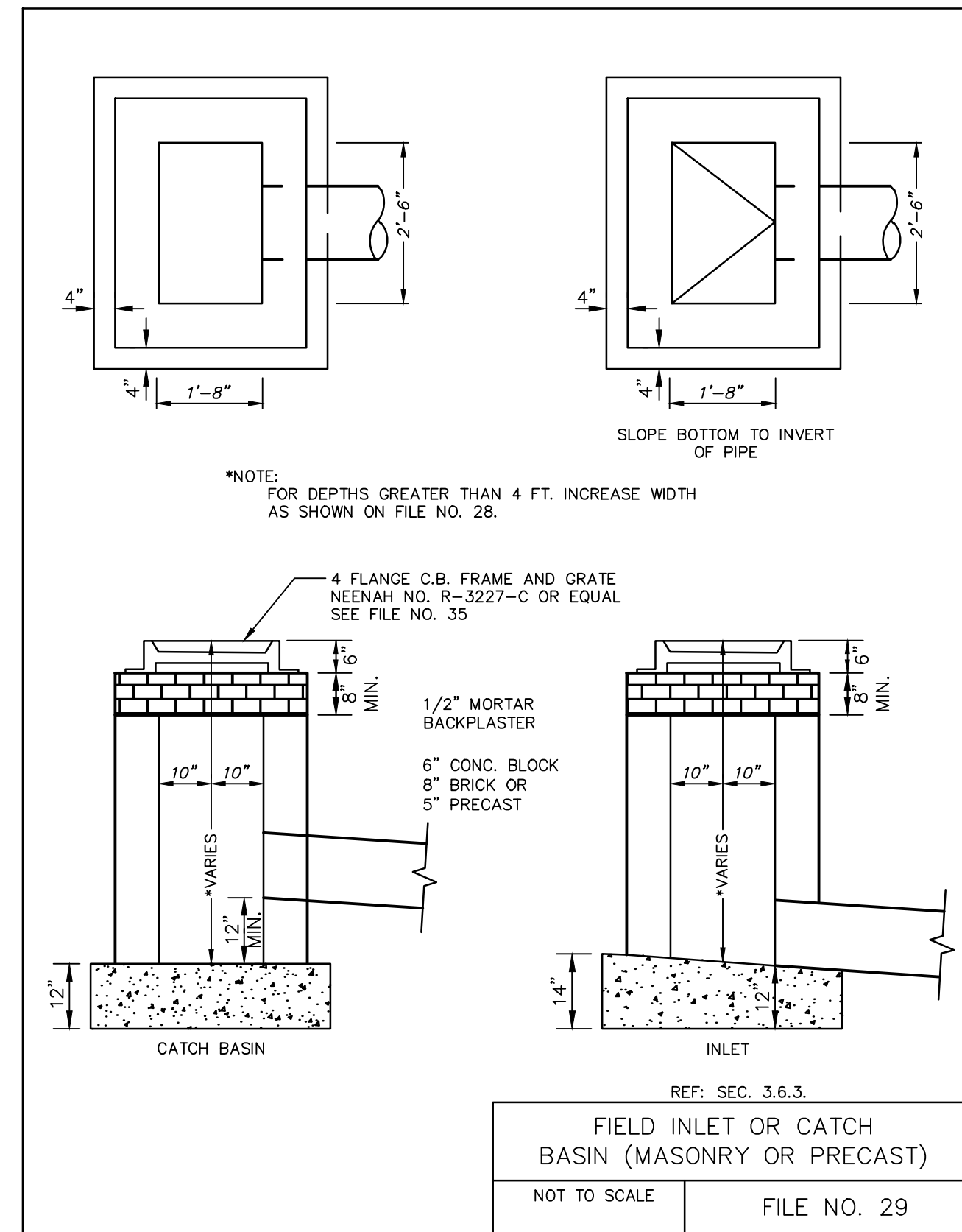
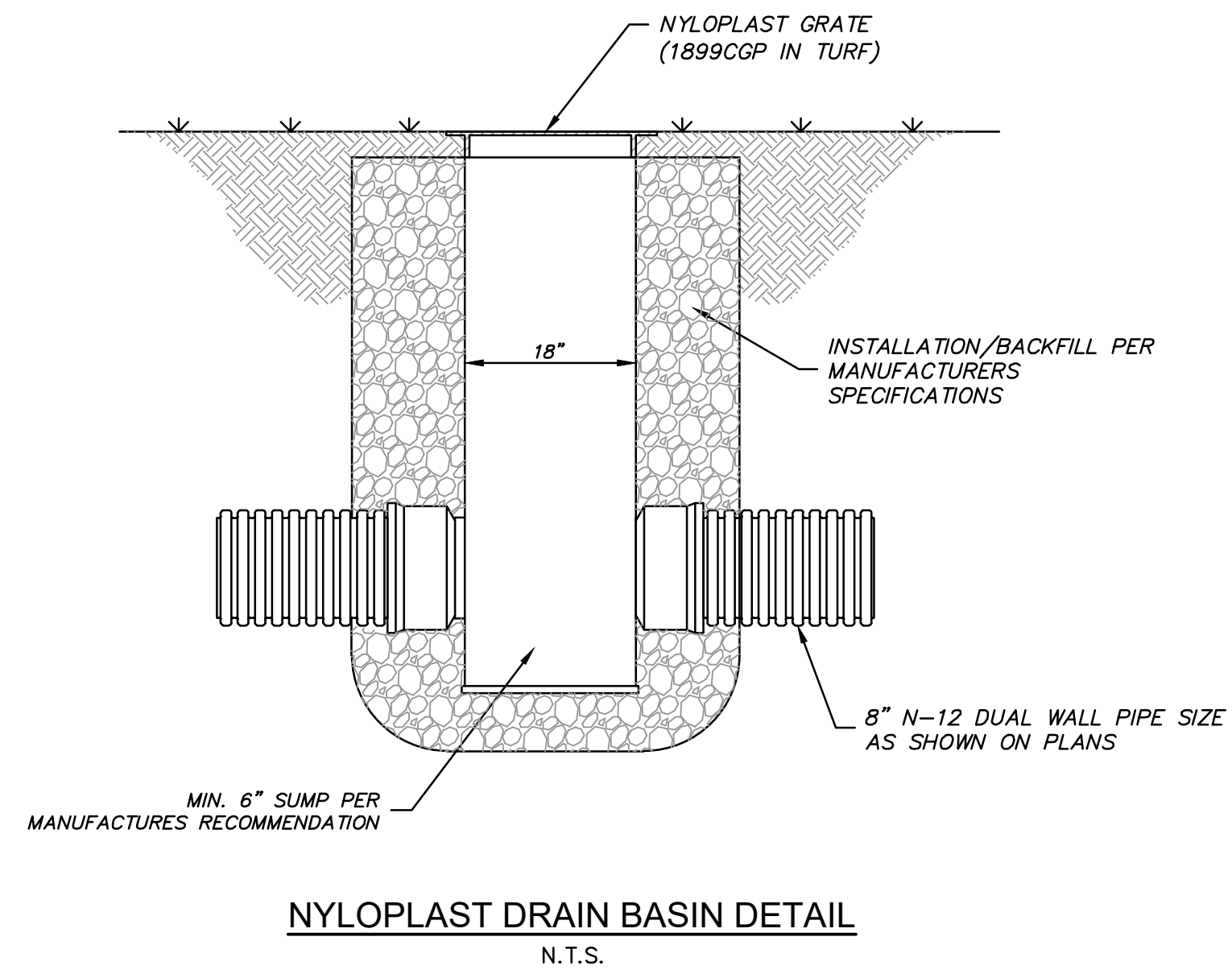
REF: SEC. 4.3.13.

BUTTRISS DIMENSIONS			
PIPE DIA.	A	B	D
4"	0'-10"	1'-6"	
6"	1'-6"	1'-8"	
8"	1'-9"	2'-4"	
10"	1'-9"	2'-4"	
12"	2'-3"	2'-7"	
16"	3'-8"	2'-10"	
20"	5'-0"	3'-10"	
24"	5'-4"	4'-8"	

BUTTRISS FOR 11.25 DEG. & 22.5 DEG. BENDS

NOT TO SCALE
DECEMBER 2003

FILE NO. 46



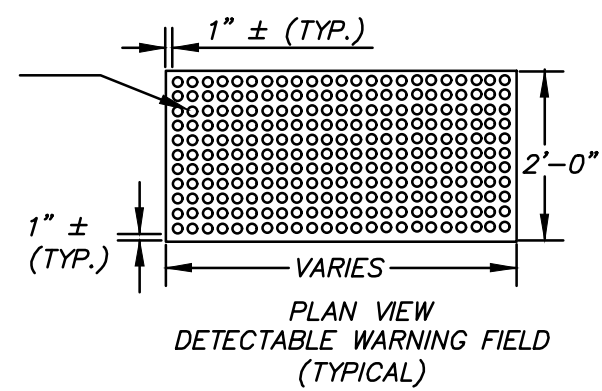
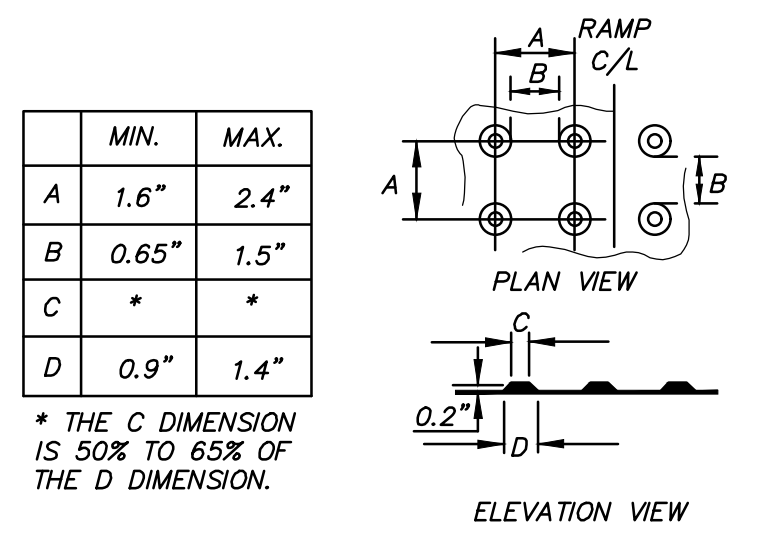
FOR ALL ACCESSIBLE AND VAN ACCESSIBLE SPACES

A. ALL STROKES TO BE 3" WIDE.

B. BLUE BACKGROUND WITH WHITE SYMBOL & BORDER.

C. LOCATE SYMBOL AT CENTER OF STALL WHERE SHOWN ON SITE PLAN.

D. ONE SYMBOL FOR EACH ADA PARKING SPACE.



DETECTABLE WARNING FIELD DETAIL



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Project Owner

Village of Kimberly
Kimberly Street and Parks Department Facility
426 W. Kimberly Avenue
Kimberly, WI 54136

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SEH Project KIMBV 171196
Checked By BLH
Drawn By JWS

Project Status Issue Date

SITE PLAN REVIEW 12-18-2023

REV. #	DESCRIPTION	DATE

SITE DETAILS

C602

Nice

Transmitters Era One & Inti



Era One

2 and 4-channel transmitters with visor clip

Ideal and sleek design solution to control multi-user systems



ON2E/A

Visor clip standard on both ON2E/A and ON4E/A

ON4E/A

Inti Transmitters

The colorful line of 2-channel miniaturized transmitters, available in six colors. Ideal for multi-user systems



Ergonomic

Scratch-resistant coating



INTI2Y/A

INTI2R/A

INTI2L/A

INTI2G/A

INTI2B/A

INTI2/A

Self-learning and built-in proximity receiver with 72 bit O-Code encoding. 433.92 MHz rolling code transmitters with management of Identity Codes and Certificates.

Increase security using data processing and recognition systems that increase its degree of security and deliver a threefold reduction in automation response times.

Easy memorization using a transmitter already programmed in the receiver

Model	Description
ON2E/A	Era One Transmitter, 2 channels, 433.92 MHz
ON4E/A	Era One Transmitter, 4 channels, 433.92 MHz
INTI2Y/A	Inti Transmitter, 2 channels, 433.92 MHz, Yellow
INTI2R/A	Inti Transmitter, 2 channels, 433.92 MHz, Red
INTI2L/A	Inti Transmitter, 2 channels, 433.92 MHz, Lilac
INTI2G/A	Inti Transmitter, 2 channels, 433.92 MHz, Green
INTI2B/A	Inti Transmitter, 2 channels, 433.92 MHz, Blue
INTI2/A	Inti Transmitter, 2 channels, 433.92 MHz, Black

Transmitter Technical Specifications

Model	Carrier frequency	Estimated range	Encoding	Power supply	Battery life	Protection class	Dimensions and weight
ON2E/A ON4E/A	433.92 MHz	Outdoor: 656 ft (200 m) Inside building: 115 ft (35 m)*	O-Code 72 bit; rolling code**	3VDC; type CR2032 lithium battery	2 years (with 10 transmissions per day)	IP40 (use in protected environments)	1.7w x 2.1d x 0.4h inch 0.02 lb
INTI2/A all colors	433.92 MHz	Outdoor: 492 ft (150 m); Inside building: 98 ft (30 m)*	O-Code 72 bit; rolling code**	3VDC; type CR2032 lithium battery	2 years (with 10 transmissions for day)	IP40 (use in protected environments)	1.2w x 2.2d x 0.3h inch 0.03 lb

* Transmitter range and receiver reception capacity may be affected by any devices operating on the same frequency in the area.
** Not compatible with European products.



800-321-9947 • www.hysecurity.com
Manufacturer of ultra-reliable rural/ranch, residential, commercial, solar, and parking gate operators and accessories.

D0825 082919

Nice

Receivers OXI/A & 318N



OXI/A Receiver

Multi-channel plug in receiver, compatible with 936, 1050 and XBA3 boards. Advanced features with Era One and Inti Transmitters.

Management: Receivers can receive and memorize up to 1000 codes/transmitters.

Memorization: An unique receiver output can be associated to each transmitter key.

Versatile: Receiver outputs can be customized through board programming to perform several different functions.

These receivers are not compatible with Homelink®



OXI/A Receiver multi-channel plug in

318N Receiver

2-channel receiver with normally open relay contacts.

Management: Receivers can receive and memorize up to 63 codes/transmitters.

Memorization: An unique receiver output can be associated to each transmitter key.

Versatile: Operating voltage is 12/24V AC/DC

These receivers are not compatible with Homelink®



318N Universal receiver

Code	Description
OXI/A	Receiver; 4 channels, 433.92 MHz, 1000 code memory
318N	Receiver, 2 channels, 433.92 MHz, 63 code memory

Receiver Technical Specifications

Model	Reception frequency	Decoding	Number of channels	Power supply	Absorption	Relay contact	Dimensions
318N	433.92 MHz	Digital 52 bit	2	12 - 24V AC/DC	15 mA	Normally Open	3.8w x 1.6d x 0.9h inch
OXI/A	433.92 MHz	Digital 52 Bit	15 - 1050/XBA3 board 2 - 936 board	n/a	30 mA (max)	--	1.9w x 0.7d x 1.7h inch

SYSTEM DESIGN SUPPORT: Contact Nice/HySecurity for help with custom site requirements, CAD drawings, tech manuals or other specifications support.

VISIT WWW.HYSECURITY.COM for installation manuals, parts diagrams, wiring diagrams, specifications, image gallery, videos, training and much more.



Contact Nice/HySecurity for an operator/parts distributor near you.
phone 253-867-3700 | 800-321-9947
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D0825 082919



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CONSTRUCTION

Project Owner

Village of Kimberly
Kimberly Street and Parks Department Facility
426 W. Kimberly Avenue
Kimberly, WI 54136

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SEH Project KIMBV 171196
Checked By BLH
Drawn By JWS

Project Status Issue Date

SITE PLAN REVIEW 12-18-2023

REVISION SCHEDULE

REV. # DESCRIPTION DATE

SITE DETAILS

C603

Industrial SlideDriver™

Slide Gate Operator

Premium industrial slide gate operator

- Decades long life and low maintenance
- Move the longest, heaviest gates up to 20,000 lb
- Secure, heavy duty chassis - no visible moving parts
- Dual gate, sally port or sequenced gate integration
- Easy system troubleshooting with onboard event log
- Field programmable to specific site requirements
- UPS models retain full functionality during an AC power outage
- Extreme temperature range without heater
- Real time system security alerts
- 5 year warranty



1-800-321-9947 • www.hysecurity.com
 Manufacturer of ultra-reliable high security, industrial, commercial, residential, parking and crash gate operators and accessories.

Industrial and High Security

HySecurity operators secure the world's critical infrastructure and key assets where ultimate reliability is vital. SlideDriver delivers uncompromising quality to industrial customers worldwide, where ease of use, consistent operation, low maintenance, long life and high reliability is expected.



Slide Gate Operator

31 SlideDriver™ Models

	FAST		FAST			
	1,500 lb gates 1 ft/s	3,000 lb gates 1.7 ft/s	4,000 lb gates 1 ft/s	5,000 lb gates 2.2 ft/s or 3 ft/s	8,000 lb gates 1 ft/s	20,000 lb gates 1 ft/s
Model	SlideDriver 15	SlideDriver 30F	SlideDriver 40	SlideDriver 50VF2/3	SlideDriver 80	SlideDriver 200
Part #	222 SS ST	222 EX 1.7 ST	222 E ST	222 X3 ST	222 X1 ST	444 XS ST
Duty Cycle	Continuous					
Horsepower	1 hp UPS model: 2 hp	2 hp	1 hp UPS model: 2 hp	2 hp	2 hp	5 hp
Drive	Hydraulic					
Drive Wheels	Two 6 inch (15 cm) AdvanceDrive wheels	Two 6 inch (15 cm) AdvanceDrive wheels	Two 6 inch (15 cm) AdvanceDrive wheels	Two 8 inch (20 cm) AdvanceDrive wheels	One 8 inch (20 cm) AdvanceDrive wheel, One 8 inch XtremeDrive wheel and 27 ft (8 m) of rack	Two 8 inch (20 cm) AdvanceDrive wheels, Two 8 inch XtremeDrive wheels and 52 ft (16 m) of rack
Gate Weight Max.	1,500 lb (680 kg)	3,000 lb (1,361 kg)	4,000 lb (1,814 kg)	5,000 lb (2,268 kg)	8,000 lb (3,629 kg)	20,000 lb (9,072 kg)
Gate Length Max.	Limited only by weight					
Drawbar Pull	300 lb (136 kg)	300 lb (136 kg)	300 lb (136 kg)	300 lb (136 kg)	600 lb (272 kg)	1,200 lb (544 kg)
Rate of Travel	1 ft/s (30 cm/s)	1.7 ft/s (50 cm/s)	1 ft/s (30 cm/s)	Field adjustable, 2.2 ft/s (70 cm/s) or 3 ft/s (91 cm/s) Emergency Fast Operate 3 ft/s (91 cm/s)	1 ft/s (30 cm/s)	1 ft/s (30 cm/s)
Temperature Rating	-40° F to 158° F (-40° C to 70° C) No heater necessary					
1 Phase Power	115/208/230V 60 Hz 110/220V 50 Hz***	208/230V 60 Hz 220V 50 Hz***	115/208/230V 60 Hz 110/220V 50 Hz***	208/230V 60/50 Hz	208/230V 60 Hz 220V 50 Hz***	230V 60 Hz 220V 50 Hz***
3 Phase Power	208/230/460V or 575V 60Hz; 220/380/440V 50Hz***			208/230V 60/50Hz or 380/460V 60/50Hz	208/230/460V or 575V 60Hz; 220/380/440V 50Hz***	
Communication	RS-232, RS-485, Ethernet/fiber using optional HyNet™ Gateway accessory					
User Controls	Smart Touch Controller with 70+ configurable settings. Smart Touch keypad and display or a PC using S.T.A.R.T. software.					
Relays	Three configurable user relays: one 30VDC, 3A solid state and two 250VAC, 10A electromechanical; Optional Hy8Relay™ for 8 additional relay outputs					
Finish	Zinc plated with powder coating					
Listed to UL 325	Usage Class I, II, III, IV	Usage Class III, IV	Usage Class I, II, III, IV	Usage Class III, IV	Usage Class III, IV	Usage Class III, IV
Warranty	5 year					
Additional Models						
DC Power Supply*	SlideDriver 15 UPS	SlideDriver 30F UPS	SlideDriver 40 UPS	-	SlideDriver 80 UPS	SlideDriver 200 UPS**
AC Power Supply with HyInverter*	SlideDriver 15 with HyInverter	-	SlideDriver 40 with HyInverter	SlideDriver 50VF2/3 with HyInverter	-	-
Correctional Facility	-	SlideDriver 30F-C	SlideDriver 40-C	SlideDriver 50VF2/3-C	SlideDriver 80-C	SlideDriver 200-C
Modular	SlideDriver 15-M	SlideDriver 30F-M	SlideDriver 40-M	SlideDriver 50VF2/3-M	SlideDriver 80-M	SlideDriver 200-M

* 3,000 ft/hr expected duty cycle. The operator's normal duty cycle and the actual number of gate cycles available from battery depends upon gate resistance to travel, cycle length, battery size, state of charge, and health, ambient temperature, accessory power draw and frequency of gate cycles during power outage.
 ** SlideDriver 200 UPS has a 2,000 ft/hr expected duty cycle. Actual duty cycle depends on site specific conditions and gate configuration.
 *** Refer to Installed Options on pricing for all 50Hz voltages and 575V 3Ø, which are special order.
 † 115V DC Power Supply requires a 30A branch circuit. Choose voltage with care as chargers are not field convertible.

To enable fully automatic operation, all SLIDE gate operators require a minimum of TWO monitored external entrapment protection sensors (one for each direction) to protect entrapment zones in both the open and close direction of travel. Visit www.hysecurity.com/gatesafety for more information on UL 325 standards and gate safety.

OPTIONAL ACCESSORIES: Hy5B™ intelligent vehicle detectors, 12 in (30 cm) base extension, tamper proof heavy gauge cover, cabinet lock, solenoid lock, Fire and Emergency Access Lock Box, heater, strobe light, photo eye, snowbrush and scraper kit, XtremeDrive rack kit, custom colors, HyNet Gateway and more.

SYSTEM DESIGN SUPPORT: Contact HySecurity for CAD drawings, tech manuals, help with custom site requirements or other specifications support. Call to speak with a HySecurity representative today.

VISIT WWW.HYSECURITY.COM for specifications, installation manuals, wiring diagrams, parts diagrams, image gallery, videos, training and much more.

Distributed by:



Contact HySecurity/Nice Regional Sales Manager for an operator/parts distributor near you.
 phone 253-867-3700 | 800-321-9947 | www.hysecurity.com | orders@hysecurity.com



Project Owner

Village of Kimberly
 Kimberly Street and Parks Department Facility

426 W. Kimberly Avenue
 Kimberly, WI 54136

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SEH Project: KIMBV 171196
 Checked By: BLH
 Drawn By: JWS

Project Status: Issue Date

SITE PLAN REVIEW 12-18-2023

REVISION SCHEDULE

REV. # DESCRIPTION DATE

SITE DETAILS

C604

SlideSmart™ HD



Cycle big, heavy gates



Heavy duty. Commercial.

Quick and easy install

Long life slide gate operator with best in class controller and battery backup.



Move up to 3,000 lb/50 ft gate



HD15F moves your gate fast



Rodent proof heavy duty enclosure



Intelligent charging system, monitors battery condition to maximize battery life



Keep your gate moving after power loss: up to 4,000 ft/standard batteries and 25,000 ft/extended batteries



Easy system troubleshooting with onboard event log



Field Programmable to specific site requirements



Easily retrofit similar profile operators out-of-the-box



Real time system security alerts with optional HyNet™ Gateway



5 year warranty



Optional base extension and retrofit adapter

Family Traits

- Best in class Smart DC™ controls
- 24VDC with battery backup
- Seamless operation with HySecurity accessories
 - HyNet™
 - Hy5B™
- 5 year warranty

Distinctive Features

- For BIG gates up to 3,000 lb
- Sturdy steel enclosure
- Side mount posts
- Fast model available



Nice 7251/7351 Residential



SlideSmart CNX Commercial



SlideSmart HD Commercial/Industrial



SlideDriver Industrial



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Village of Kimberly
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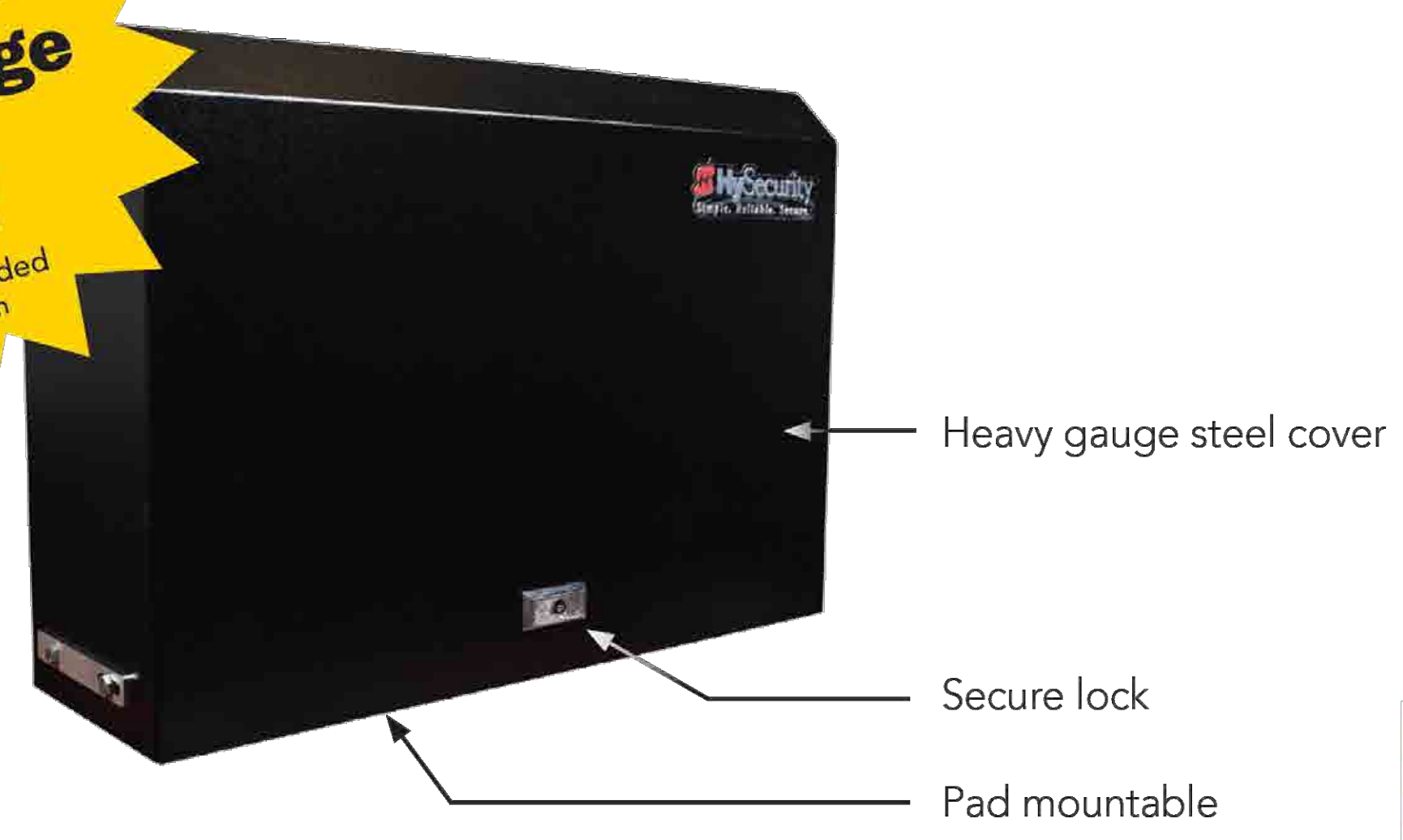
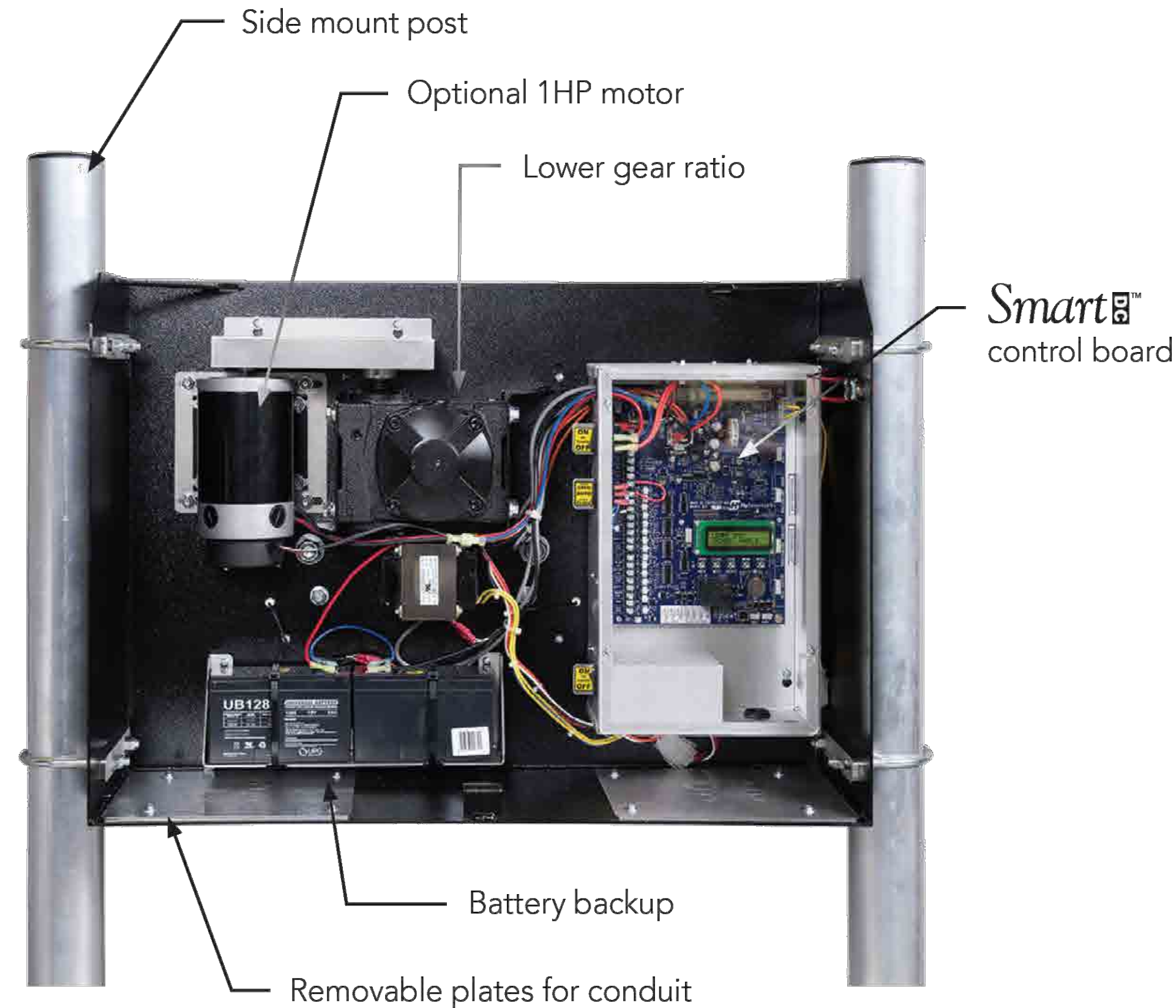
SITE PLAN REVIEW 12-18-2023

REVISION SCHEDULE

REV. # DESCRIPTION DATE

SITE DETAILS

Battery Backup. Low maintenance.



Residential and Commercial



Slide Gate Operator

SYSTEM DESIGN SUPPORT: Contact Nice/HySecurity for help with custom site requirements, CAD drawings, tech manuals or other specifications support.

VISIT HYSECURITY.COM for installation manuals, parts diagrams, wiring diagrams, specifications, image gallery, videos, training and much more.

3 SlideSmart™ HD Models

Model	FAST		
	SlideSmart DC HD15F	SlideSmart DC HD25	SlideSmart DC HD30
Gate Weight Max.	1,500 lb (680 kg)	2,500 lb (1,134 kg)	3,000 lb (1,361 kg)
Gate Length Max.	50 ft (15 m)		
Pull Force*	300 lb	450 lb	500 lb
Rate of Travel	1.75, 2 or 2.25 ft/s (53, 61 or 69 cm/s) Open/Close speed set independently	0.75, 1 or 1.25 ft/s (23, 30 or 38 cm/s) Open/Close speed set independently	
Duty Cycle	Continuous		
Horsepower	1 hp	1/2 hp	1 hp
Drive	Electromechanical		
UPS Battery Backup Cycles †	Field configurable to fail open or secure when batteries deplete. Standard battery backup gate travel: Two 8Ah batteries. Up to 4,000 ft (1,219 m) after AC power loss. Extended battery backup gate travel: Two 50Ah batteries. Up to 25,000 ft (7,620 m) after AC power loss.		
Temperature Rating	-13° to 158° F (-25° to 70° C)		
Operating Voltage	24VDC		
Input Voltage	115V or 208-230V, 60/50 Hz		
Accessory Power	12VDC and 24VDC 1A each		
Communication	USB, RS-232, RS-485. Ethernet/fiber using optional HyNet™ Gateway accessory		
User Controls	Smart DC Controller with 70+ configurable settings. 32 character LCD display and 5 tact buttons or a PC using S.T.A.R.T. software.		
Relays	Two configurable user relays: 30VDC, 3A solid state and 250VAC, 10A electromechanical; Optional Hy8Relay™ for 8 additional relay outputs		
Finish	Zinc rich primer and black powder coated steel cover/chassis		
ETL Listed (UL 325)	Usage Class III, IV***	Usage Class I, II, III, IV**	
Cycle Tested	500,000 cycles		
Warranty	5 year w/product registration	5 year (7 year single-family residential) w/product registration	

* HySecurity manufactures only reliable and powerful gate operators and provides an extra margin of power to be certain the gate works in adverse conditions. Some manufactures overstate the length and weight capacity of their operators, but HySecurity rates conservatively. Note that our pull force ratings are substantial and that extra margin of power is part of the HySecurity reputation for reliability.

** Speed setting cannot be configured to exceed 1 ft/s for Class I and II usage.

***Not for residential use or applications intended to serve the general public.

† The actual number of gate cycles available from battery depends upon gate resistance to travel, cycle length, battery size, state of charge and health, ambient temperature, accessory power draw and frequency of gate cycles during power outage.

To enable fully automatic operation, all SLIDE gate operators require a minimum of TWO monitored external entrapment protection sensors (one for each direction) to protect entrapment zones in both the open and close direction of travel. Visit www.hysecurity.com/gatesafety for more information on UL 325 standards and gate safety.

Optional Accessories - See website for complete list



Contact Nice | HySecurity for an operator/parts distributor near you.
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hysecurity.com | sales@hysecurity.com



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Kimberly Street and Parks Department Facility

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SEH Project: KIMBV 171196
Checked By: BLH
Drawn By: JWS

Project Status: Issue Date
SITE PLAN REVIEW 12-18-2023

REVISION SCHEDULE
REV. # DESCRIPTION DATE

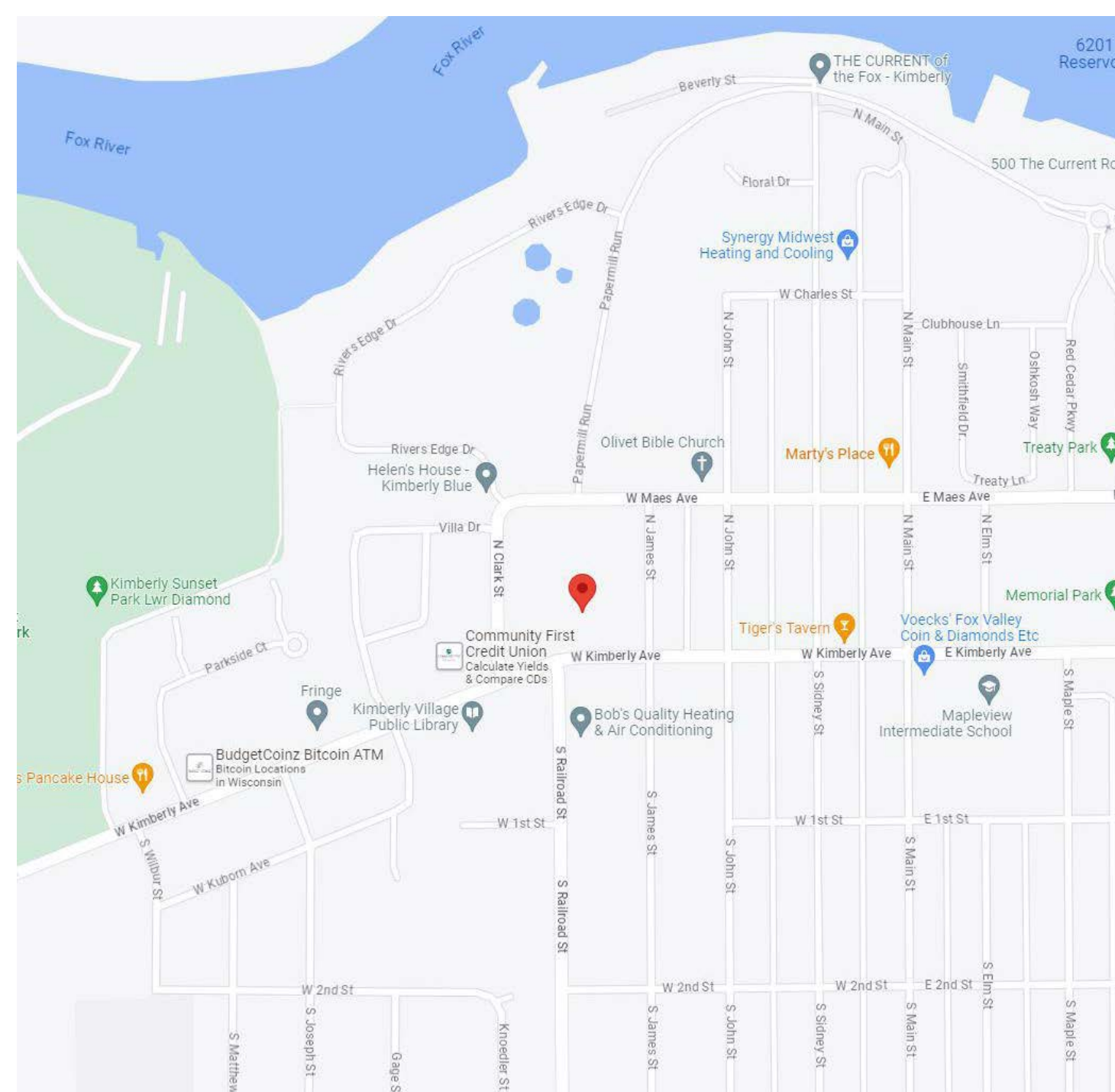
SITE DETAILS

VILLAGE OF KIMBERLY MUNICIPAL SERVICES CENTER

426 WEST KIMBERLY AVENUE
KIMBERLY, WISCONSIN 54136

Project Owner

VICINITY MAP



LOCATION MAP



DRAWING INDEX

GENERAL

- G001 COVER SHEET
- G010 CODE PLAN

CIVIL

- C100 EXISTING CONDITIONS & DEMOLITION PLAN
- C200 SITE PLAN
- C300 GRADING & EROSION CONTROL PLAN
- C400 UTILITY PLAN
- C500 SITE DETAILS

STRUCTURAL

- S001 GENERAL STRUCTURAL ABBREVIATIONS, SYMBOLS AND TABLES
- S002 GENERAL STRUCTURAL NOTES
- S003 GENERAL STRUCTURAL NOTES
- S100 OVERALL FOUNDATION PLAN
- S110 OVERALL FIRST FLOOR FRAMING PLAN
- S120 OVERALL MEZZANINE PLAN
- S130 OVERALL ROOF FRAMING PLAN
- S400 ENLARGED FOUNDATION PLAN - OFFICE
- S401 ENLARGED FOUNDATION PLAN - WEST GARAGE
- S402 ENLARGED FOUNDATION PLAN - EAST GARAGE
- S410 ENLARGED BRIDGE CRANE FRAMING PLAN AND DETAILS
- S420 ENLARGED MEZZANINE FRAMING PLANS
- S430 ENLARGED ROOF FRAMING PLAN - OFFICE
- S431 ENLARGED ROOF FRAMING PLAN - WEST GARAGE
- S432 ENLARGED ROOF FRAMING PLAN - EAST GARAGE
- S501 FOUNDATION DETAILS
- S502 FOUNDATION DETAILS
- S503 FOUNDATION DETAILS
- S521 MASONRY DETAILS
- S522 MASONRY DETAILS
- S531 PRECAST DETAILS
- S532 PRECAST DETAILS
- S541 STEEL DETAILS
- S542 STEEL DETAILS
- S543 STEEL DETAILS
- S544 STEEL DETAILS
- S545 STEEL DETAILS

ARCHITECTURAL

- A003 ADA DETAILS
- A004 ADA DETAILS
- A011 PARTITION TYPES AND CONSTRUCTION ASSEMBLIES
- A051 ARCHITECTURAL SITE PLAN
- A061 ENLARGED SITE PLANS AND DETAILS
- A101 OVERALL FLOOR PLAN
- A111 FLOOR PLANS
- A112 FLOOR PLANS
- A113 ROOF PLAN
- A151 REFLECTED CEILING PLAN - LEVEL 1
- A152 ENLARGED REFLECTED CEILING PLAN - LEVEL 1
- A201 EXTERIOR ELEVATIONS
- A210 3D VIEWS
- A301 BUILDING SECTIONS
- A302 BUILDING SECTIONS
- A311 WALL SECTIONS
- A312 WALL SECTIONS
- A313 WALL SECTIONS
- A414 VERTICAL CIRCULATION
- A420 ENLARGED PLANS
- A421 INTERIOR ELEVATIONS
- A422 ENLARGED PLANS AND INTERIOR ELEVATIONS
- A423 ENLARGED PLANS AND INTERIOR ELEVATIONS
- A424 INTERIOR ELEVATIONS
- A501 DETAILS
- A502 DETAILS
- A503 DETAILS
- A504 DETAILS
- A505 DETAILS
- A506 DETAILS
- A507 DETAILS
- A601 DOOR SCHEDULE / DOOR, FRAME AND WINDOW ELEVATIONS
- A611 ROOM FINISH SCHEDULE

MECHANICAL

- H001 SCHEDULES
- H002 SCHEDULES
- H003 SCHEDULES
- H201 OFFICE DUCTWORK PLAN
- H202 WEST GARAGE DUCTWORK PLAN
- H203 EAST GARAGE DUCTWORK PLAN
- H301 OFFICE PIPING PLAN
- H302 WEST GARAGE PIPING PLAN
- H303 EAST GARAGE PIPING PLAN
- H401 MEZZANINE DUCTWORK PLANS
- H402 MEZZANINE PIPING PLANS
- H403 OVERALL ROOF PLAN
- H501 DETAILS
- H502 DETAILS

PLUMBING

- P000 GENERAL NOTES
- P101 FOUNDATION PLANS - OFFICE
- P102 FOUNDATION PLANS - SHOP
- P103 FOUNDATION PLANS - GARAGE
- P200 OVERALL FLOOR PLANS
- P201 FLOOR PLANS - OFFICE
- P202 FLOOR PLANS - SHOP
- P203 FLOOR PLANS - GARAGE
- P204 MEZZANINE PLANS
- P300 ROOF PLANS
- P401 ISOMETRIC - DOMESTIC WATER - OFFICE
- P402 ISOMETRIC - DOMESTIC WATER - SHOP
- P403.1 ISOMETRIC - DOMESTIC WATER - GARAGE
- P403.2 ISOMETRIC - DOMESTIC WATER - GARAGE (CONT.)
- P411 ISOMETRIC - SANITARY DWV - OFFICE
- P412 ISOMETRIC - SANITARY DWV - SHOP
- P413.1 ISOMETRIC - SANITARY DWV - GARAGE
- P413.2 ISOMETRIC - SANITARY DWV - GARAGE (CONT.)
- P421 ISOMETRIC - STORM DWV - OFFICE
- P422 ISOMETRIC - STORM DWV - SHOP
- P423.1 ISOMETRIC - STORM DWV - GARAGE
- P423.2 ISOMETRIC - STORM DWV - GARAGE (CONT.)
- P432 ISOMETRIC - PROCESS - SHOP
- P433.1 ISOMETRIC - PROCESS - GARAGE
- P433.2 ISOMETRIC - PROCESS - GARAGE (CONT.)
- P600 DETAILS
- P601 DETAILS
- P700 SCHEDULE

ELECTRICAL

- E001 ELECTRICAL SYMBOLS AND ABBREVIATIONS
- E002 ELECTRICAL SITE PLAN - DEMO
- E003 ELECTRICAL SITE PLAN - NEW
- E100 TEST SHEET
- E100 OVERALL PLANS
- E101 FIRST FLOOR PLANS - OFFICE - LIGHTING & POWER
- E102 FIRST FLOOR PLAN - GARAGE - LIGHTING
- E103 FIRST FLOOR PLAN - GARAGE - POWER
- E104 FIRST FLOOR PLANS - SHOP - LIGHTING & POWER
- E201 MEZZANINE PLANS - LIGHTING
- E202 MEZZANINE PLANS - POWER
- E300 OVERALL PLANS - FIRE ALARM
- E301 FIRE ALARM DETAILS
- E400 ELECTRICAL DETAILS
- E401 ELECTRICAL DETAILS
- E500 ONE-LINE DIAGRAM, FEEDER SCHEDULE & DETAILS
- E501 PANEL SCHEDULES, FIXTURE SCHEDULE & MOTOR STARTER SCHEDULE

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VILLAGE OF KIMBERLY
MUNICIPAL SERVICES CENTER
426 WEST KIMBERLY AVENUE
KIMBERLY, WISCONSIN 54136

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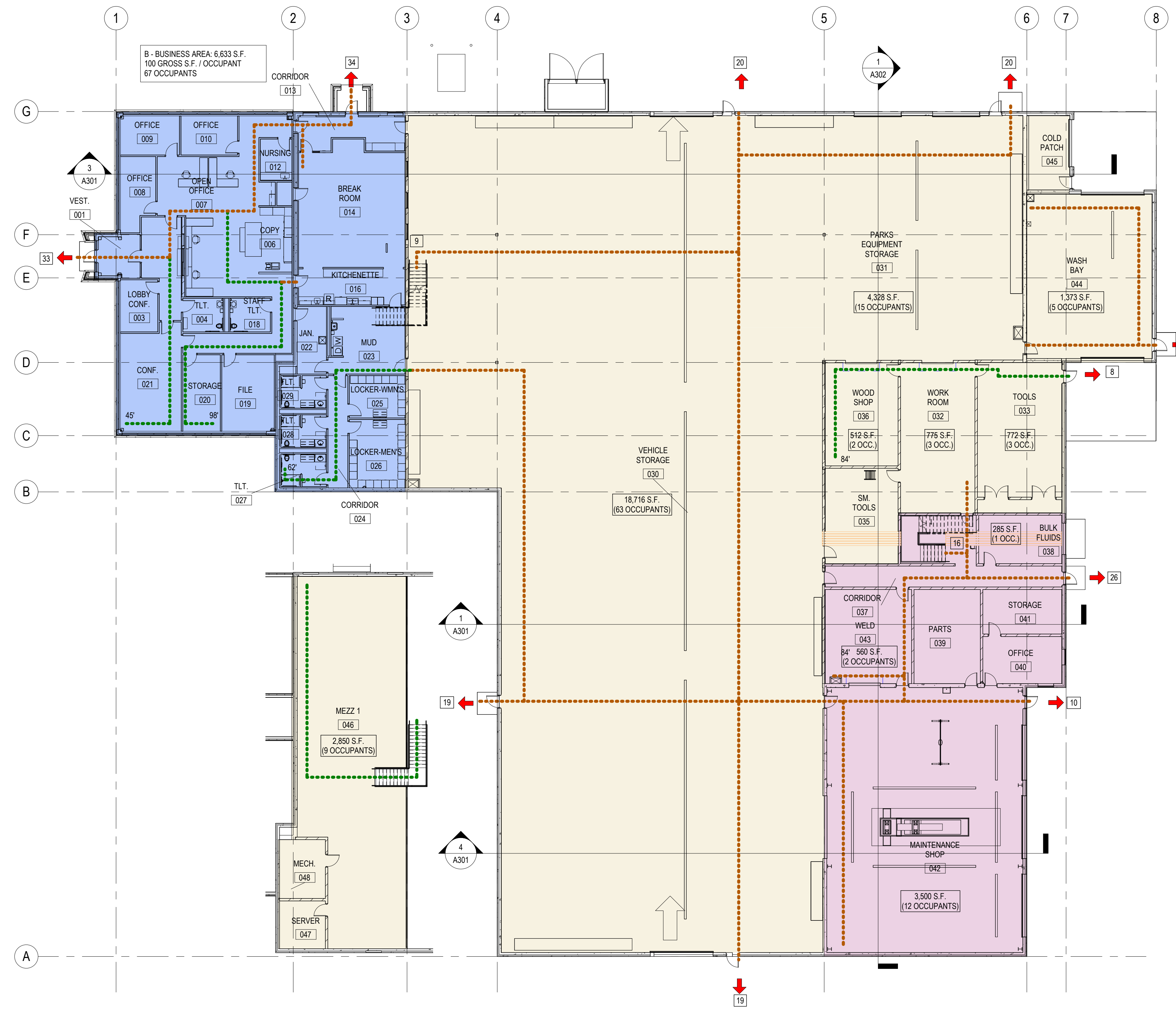
SEH Project KIMBY 171196
Checked By TIF
Drawn By MRC

Project Status Issue Date

REVISION SCHEDULE
REV. # DESCRIPTION DATE

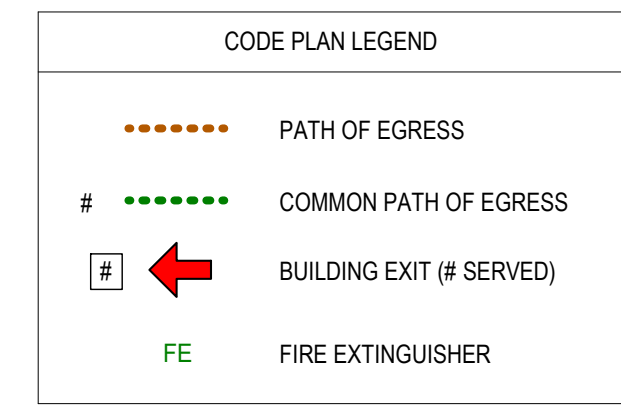
COVER SHEET

G001



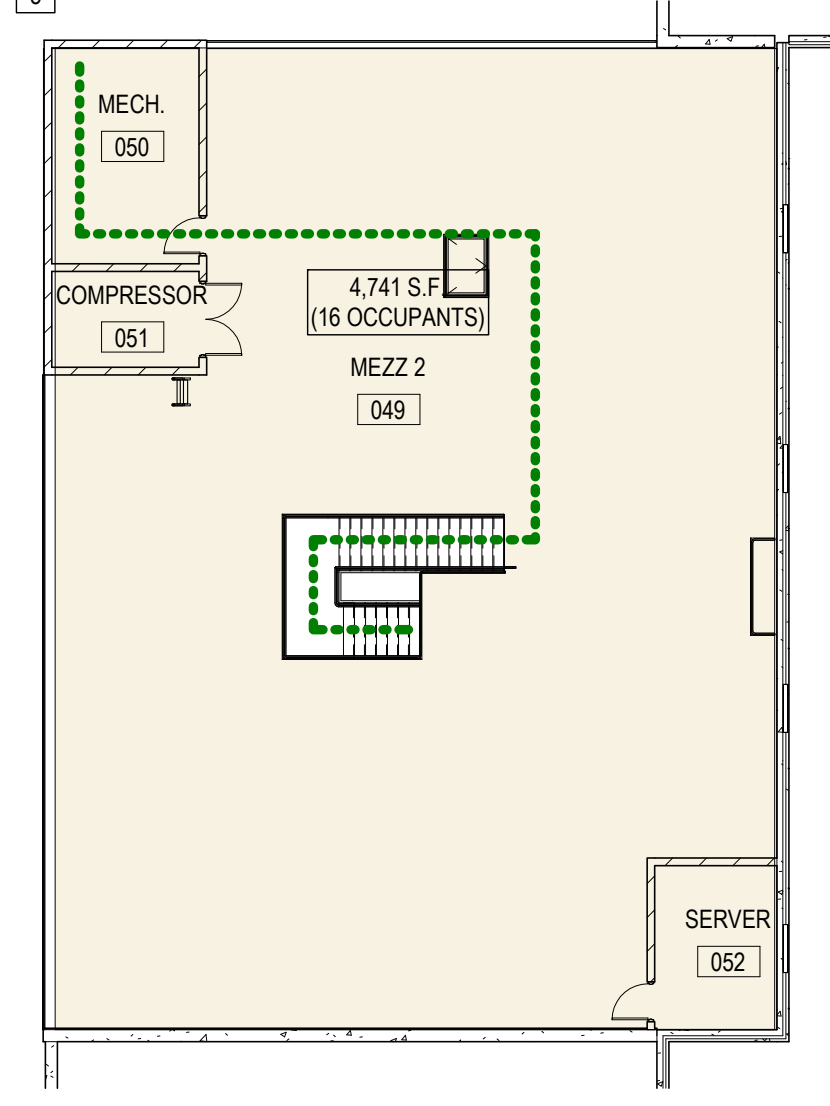
2 FLOOR PLAN - MEZZANINE 1
 G010 1/16" = 1'-0"

1 CODE PLAN - GROUND LEVEL
 G010 1/16" = 1'-0"



PLUMBING FIXTURES

194 OCCUPANTS PER CODE
 ACTUAL: 50 MAXIMUM OCCUPANTS
 MEN: 25 MAXIMUM ACTUAL
 1 PER 25 FOR THE FIRST 50
 1 REQUIRED (2 PROVIDED)
 WOMEN: 25 MAXIMUM ACTUAL
 1 PER 25 FOR THE FIRST 50
 1 REQUIRED (1 PROVIDED)
 (1) ADDITIONAL UNISEX TOILET ROOM PROVIDE ON EMPLOYEE SIDE OF BUILDING
 ONE TOILET PROVIDED FOR VISITING PUBLIC (P) 2902.2 Separate facilities. Exceptions: Separate facilities shall not be required with a total occupant load, including both employees and customers, of 15 or fewer



3 FLOOR PLAN - MEZZANINE 2
 G010 1/16" = 1'-0"

PROJECT DESCRIPTION

Full demolition of the existing the Municipal Services Center building and the construction of a new 40,481 s.f. building on the same site. The main function of the building is vehicle and mechanical equipment storage and maintenance. The Village office area contains a public side for periodic visitation from the public for transactions and inquiries.

Building is fully sprinklered

Ground Level Area: 40,481 s.f.
 Mezzanine #1 Area: 2,983 s.f.
 Mezzanine #2 Area: 5,026 s.f.

CHAPTER 3 - USE AND OCCUPANCY CLASSIFICATION

Occupancy: Types:

- Type: B (Office Area): 6,633 s.f.
- Type: S-1 (Repair Garage): 6,019 s.f.
- Type S-2 (Storage Garage, Wash Bay): 27,829 s.f.

CHAPTER 5 - GENERAL BUILDING HEIGHTS AND AREAS

Construction Type: Type IIB

Table 503 Allowable Building Heights and Areas (Type IIB)

B	92,000 s.f.
S-1	70,000 s.f. (Most Restrictive)
S-2	104,000 s.f.

TABLE 1006.2.1
 Spaces with one exit
 Maximum Common Path of Egress Travel Distance (Sprinklered)
 Types B, S: 100 feet

TABLE 1017.2
 Exist Access Travel Distance (Sprinklered)
 Types B, S1: 250 feet
 Type S2: 400 feet



NOTE: SEE CIVIL & LANDSCAPE PLANS
FOR DETAILED SITE INFORMATION

VILLAGE OF KIMBERLY
MUNICIPAL SERVICES CENTER

426 WEST KIMBERLY AVENUE
KIMBERLY, WISCONSIN 54136

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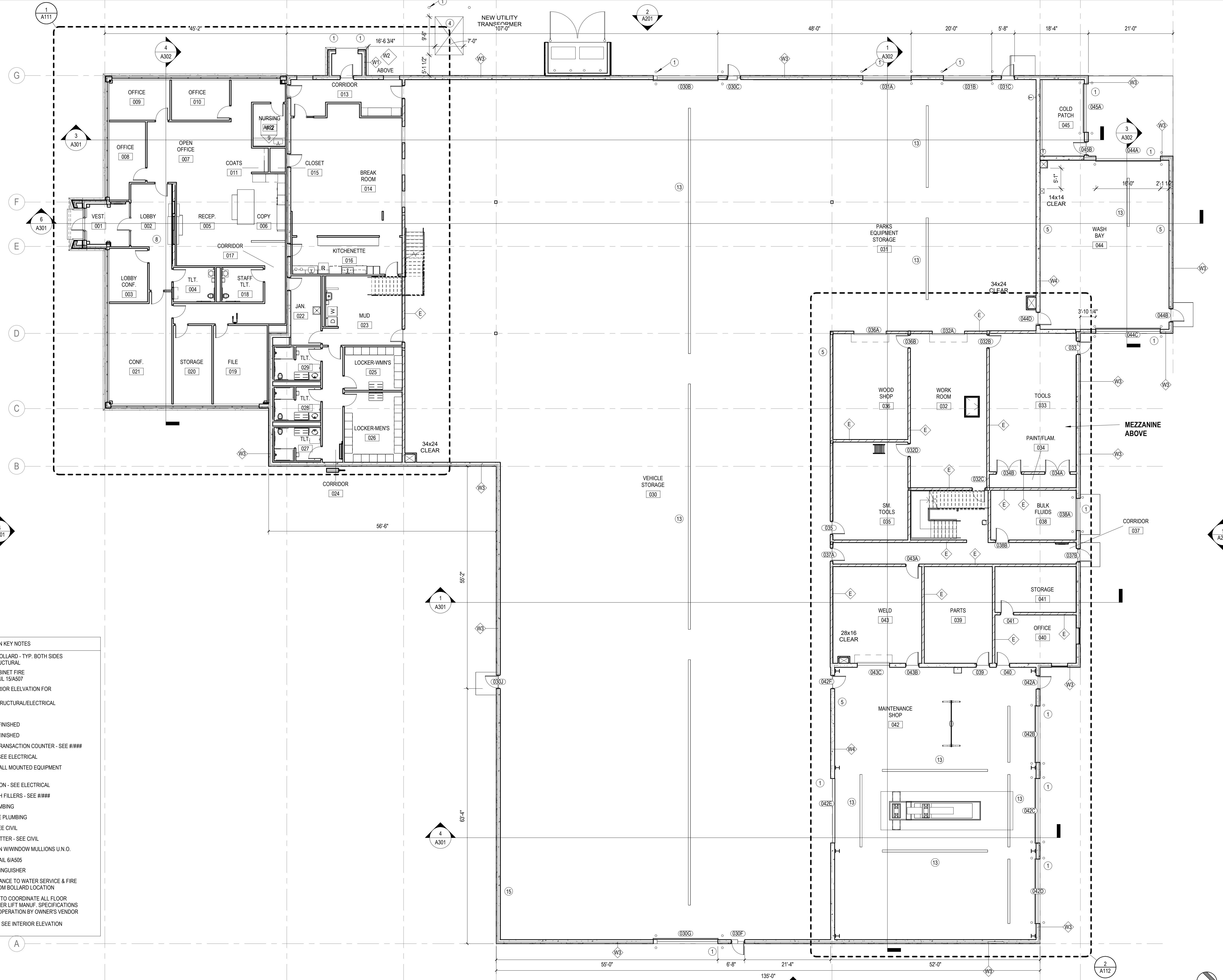
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SEH Project: KIMBY 171196
Checked By: TMC
Drawn By: MRC

Project Status: Issue Date:

REVISION SCHEDULE		
REV. #	DESCRIPTION	DATE

ARCHITECTURAL SITE PLAN

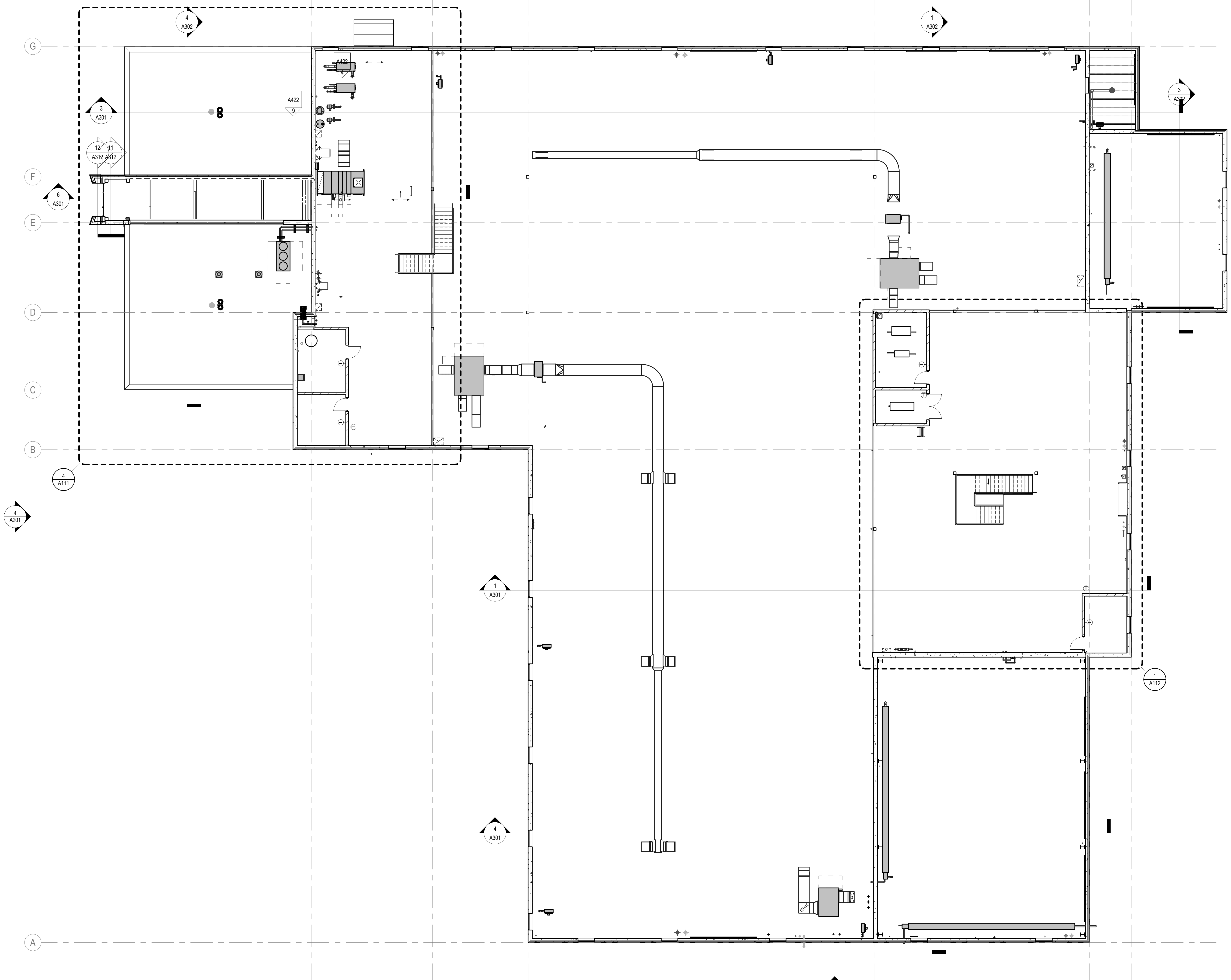


- PLAN KEY NOTES**
- 1 CONCRETE FILLED PIPE BOLLARD - TYP. BOTH SIDES OF O.H. DOORS. SEE STRUCTURAL
 - 2 SEMI - RECESSED F.E. CABINET FIRE EXTINGUISHER. SEE DETAIL 15/A507
 - 3 METAL RAILING SEE INTERIOR ELEVATION FOR REMOVEABLE SECTIONS
 - 4 CONCRETE SLAB - SEE STRUCTURAL/ELECTRICAL
 - 5 PRESSURE WASHER
 - 6 MTL. ROOF GUTTER, PREFINISHED
 - 7 MTL. DOWN SPOUT, PRE-FINISHED
 - 8 PASS THRU WINDOW W/ TRANSACTION COUNTER - SEE ###
 - 9 HOOK UP FOR WELDER - SEE ELECTRICAL
 - 10 PROVIDE BLOCKING AT WALL MOUNTED EQUIPMENT AND CABINETS
 - 11 ADA DOOR OPENER BUTTON - SEE ELECTRICAL
 - 12 MILLWORK CABINETS WITH FILLERS - SEE ###
 - 13 TRENCH DRAIN - SEE PLUMBING
 - 14 DRINKING FOUNTAIN - SEE PLUMBING
 - 15 CONCRETE WALKWAY - SEE CIVIL
 - 16 CONCRETE CURB AND GUTTER - SEE CIVIL
 - 17 INTERIOR WALLS TO ALIGN W/WINDOW MULLIONS U.N.O.
 - 18 SHIP'S LADDER - SEE DETAIL 6/A505
 - 19 WALL MOUNTED FIRE EXTINGUISHER
 - 20 PROVIDE MIN. 3'-0" CLEARANCE TO WATER SERVICE & FIRE SUPPRESSION PIPING FROM BOLLARD LOCATION
 - 21 DEPRESSURED LIFT PIT G.C. TO COORDINATE ALL FLOOR SLAB/PIT POUR DETAILS PER LIFT MANUF. SPECIFICATIONS FOR FULL INSTALLATION/OPERATION BY OWNER'S VENDOR
 - 22 BELOW STAIR GUARDRAIL SEE INTERIOR ELEVATION

1 FLOOR PLAN - LEVEL 1
A101 3/32" = 1'-0"

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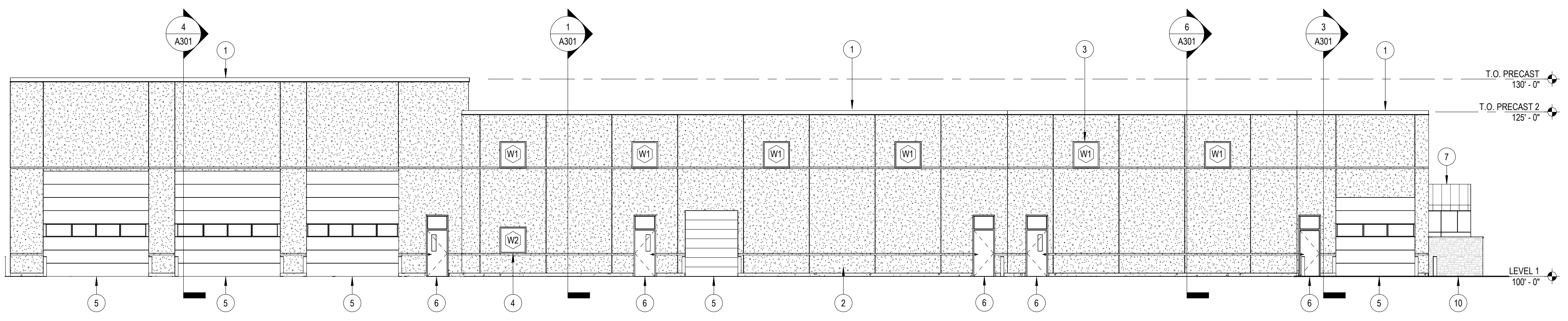
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1
A102 **MEZZANINE**
3/32" = 1'-0"

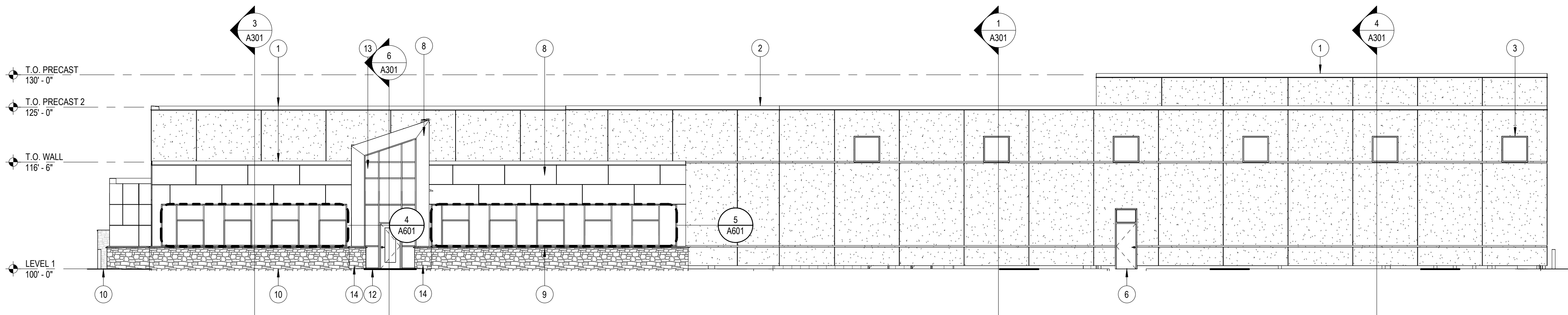


REVISION SCHEDULE		
REV. #	DESCRIPTION	DATE

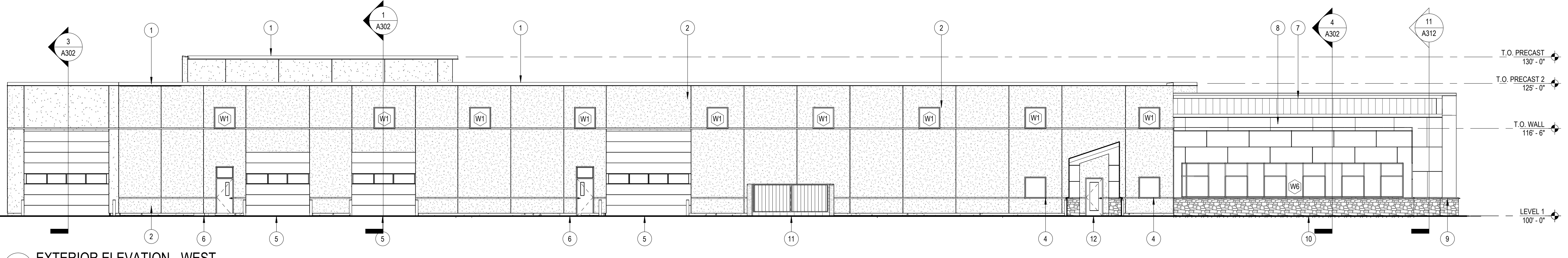
EXTERIOR ELEVATION FINISHES	
1	CONTINUOUS PERIMETER METAL PARAPET COPING - COLOR TO MATCH EXTERIOR COMPOSITE METAL PANELS
2	PRECAST CONC. WALL PANEL W/CAST-IN RECESSED BANDING. BASIS OF DESIGN: MOLINE COLOR: 3012-2 LEATHER LIGHT SANDBLAST ETCH/ LIGHT ETCH
3	POLYCARBONATE WINDOW UNIT (KAL WALL BASIS OF DESIGN) ALL WINDOWS DESIGNATED WITH W1
4	2" THERMALLY BROKEN ALUM. FRAMED WINDOW W/1" INSUL. GLASS. FACTORY PAINT FINISH TO MATCH METAL WALL PANEL & ALUM. STORE FRONT
5	INSULATED SECTIONAL OVERHEAD DOOR. SEE DOOR SCHEDULE FOR SIZE & TYPE
6	HOLLOW METAL DOOR (INSULATED) & FRAME. PAINT TO MATCH ALUM WINDOW FRAMES
7	STANDING SEAM METAL ROOF ON 6" NAIL BASE OVER COLD FORMED STEEL JOISTS. COLOR TO MATCH WALL PANELS
8	COMPOSITE ALUM. WALL PANEL. BASIS OF DESIGN ALFREXUSA.COM COLOR: CHARCOAL, PATRIOT RED
9	ARCH. PRECAST SILLS. BASIS OF DESIGN: CUSTOM STONE WORKS COLOR: FAWN TAN
10	BASE COURSE MASONRY BASIS OF DESIGN: COUNTY MATERIAL REFLECTION STONE COLOR: ENCHANTMENT
11	DUMPSTER ENCLOSURE SEE DETAILS SHEET A501
12	ALUM. STORE FRONT FRAMING & ENTRANCE DOOR. FACTORY FINISHED TO MATCH METAL WALL PANELS
13	ALUM. CURTAIN WALL FRAMING W/1" INSUL. GLAZING GLASS BASIS OF DESIGN: OLD CASTLE SOLARBAN 100VT COLOR: BRONZE TP-2
14	DATE STONE & TIME CAPSULE. SEE DETAIL 9/A503



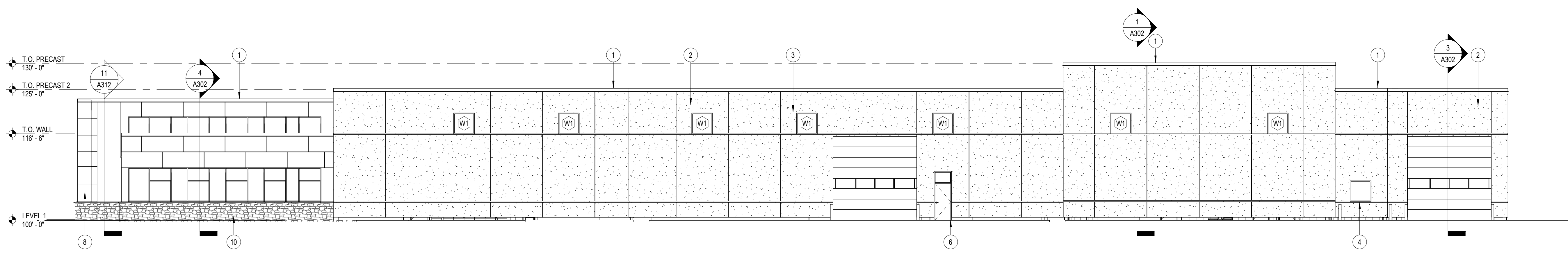
1
A201
3/32" = 1'-0"



4
A201
3/32" = 1'-0"

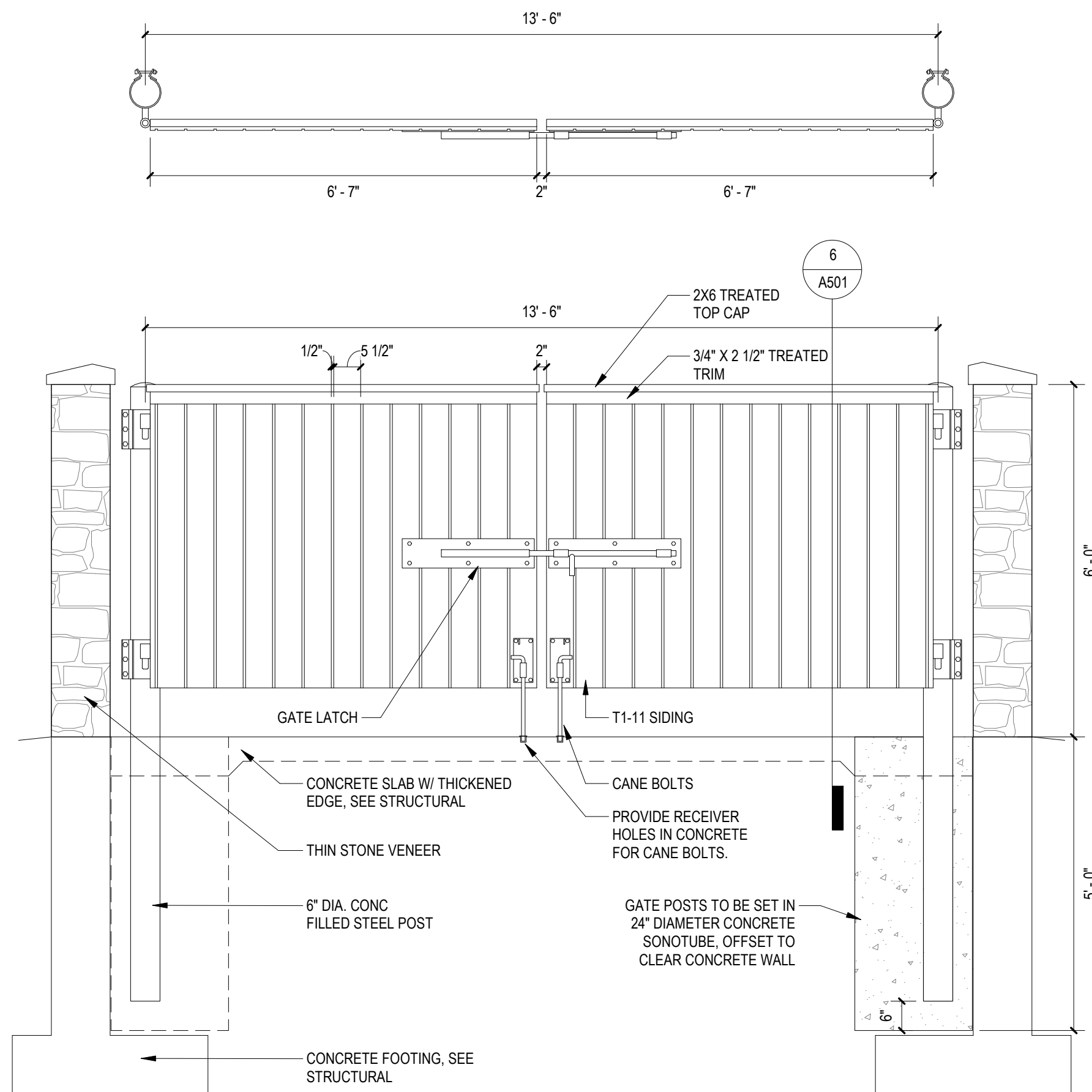


2
A201
3/32" = 1'-0"

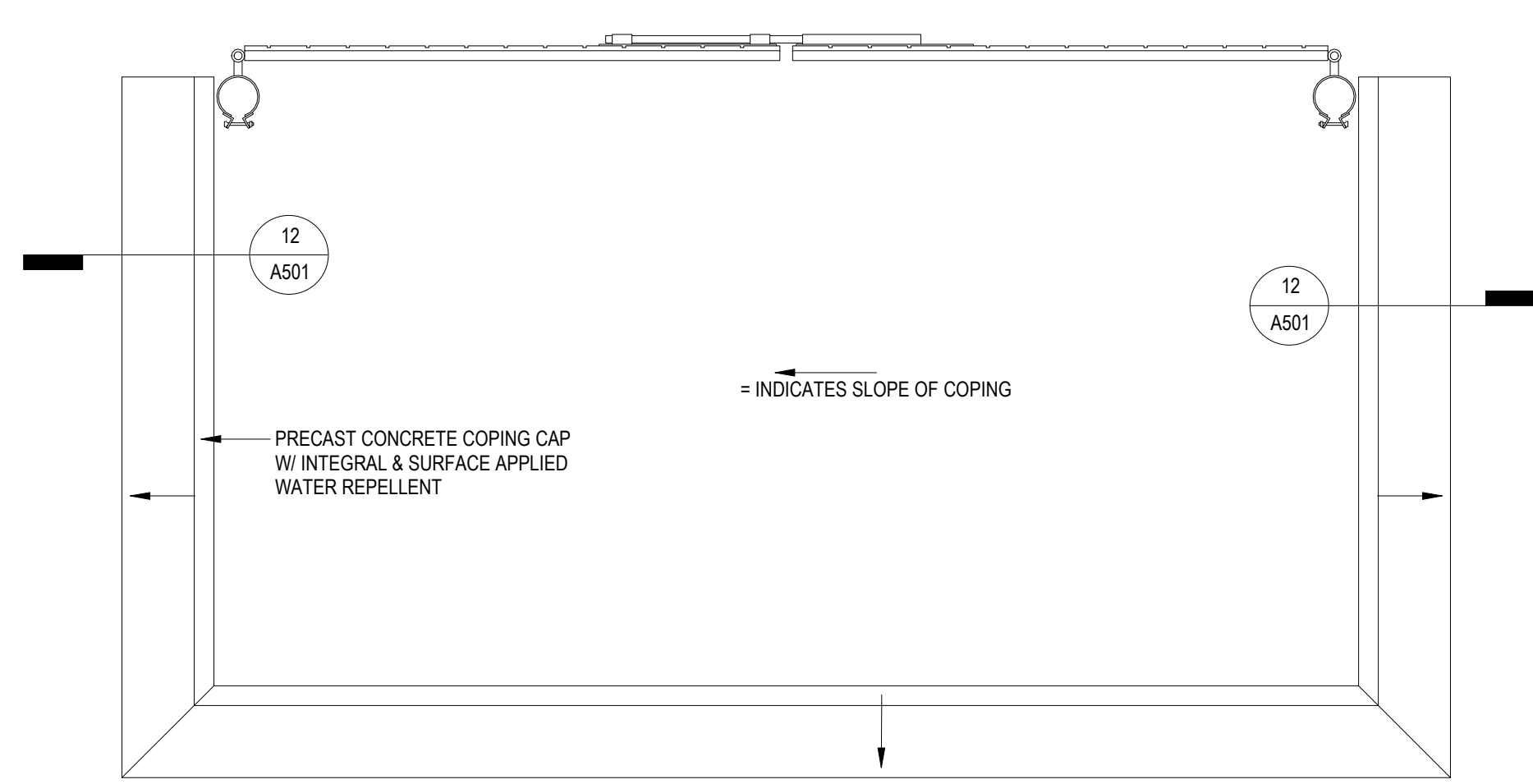


5
A201
3/32" = 1'-0"

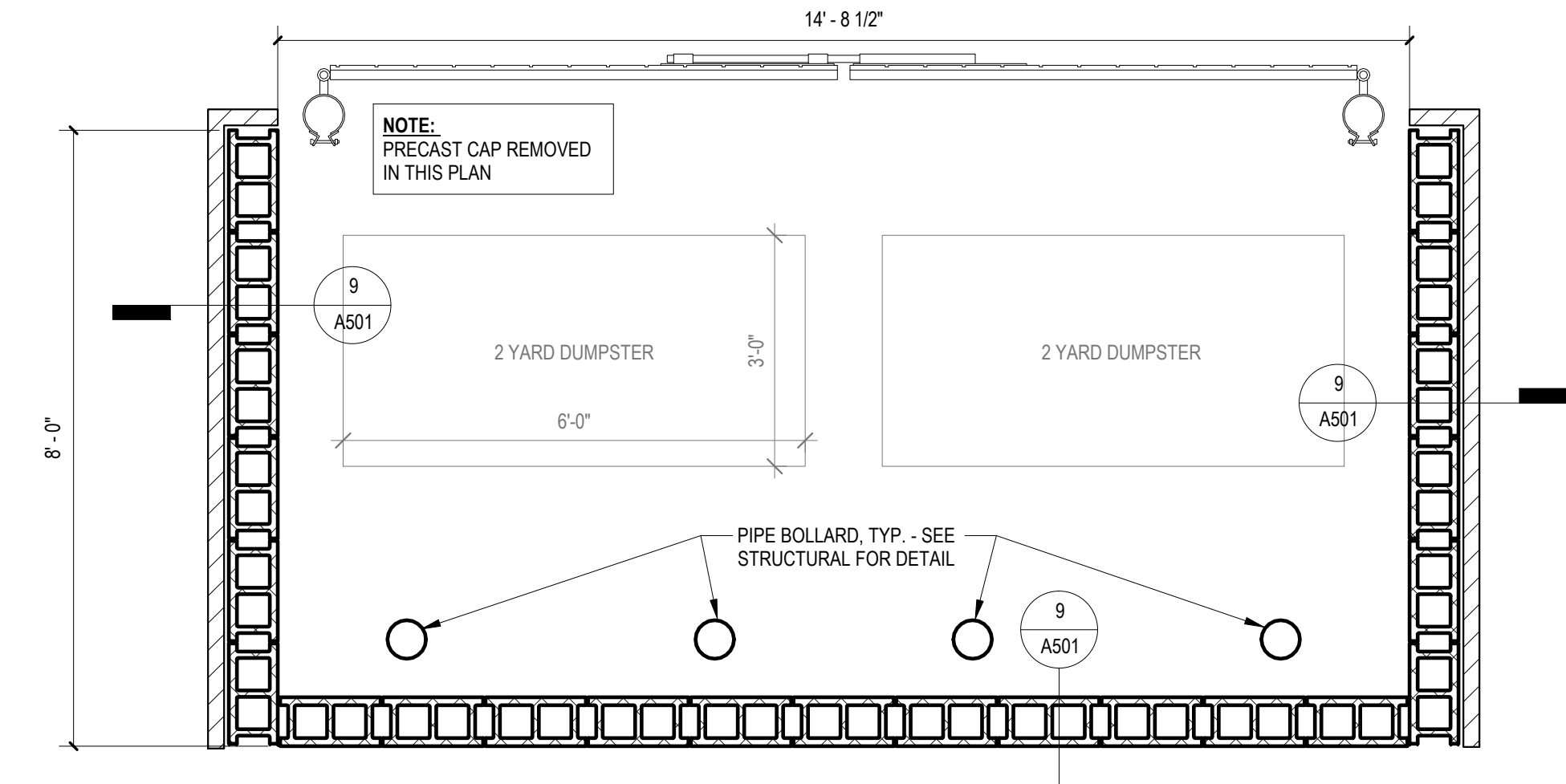
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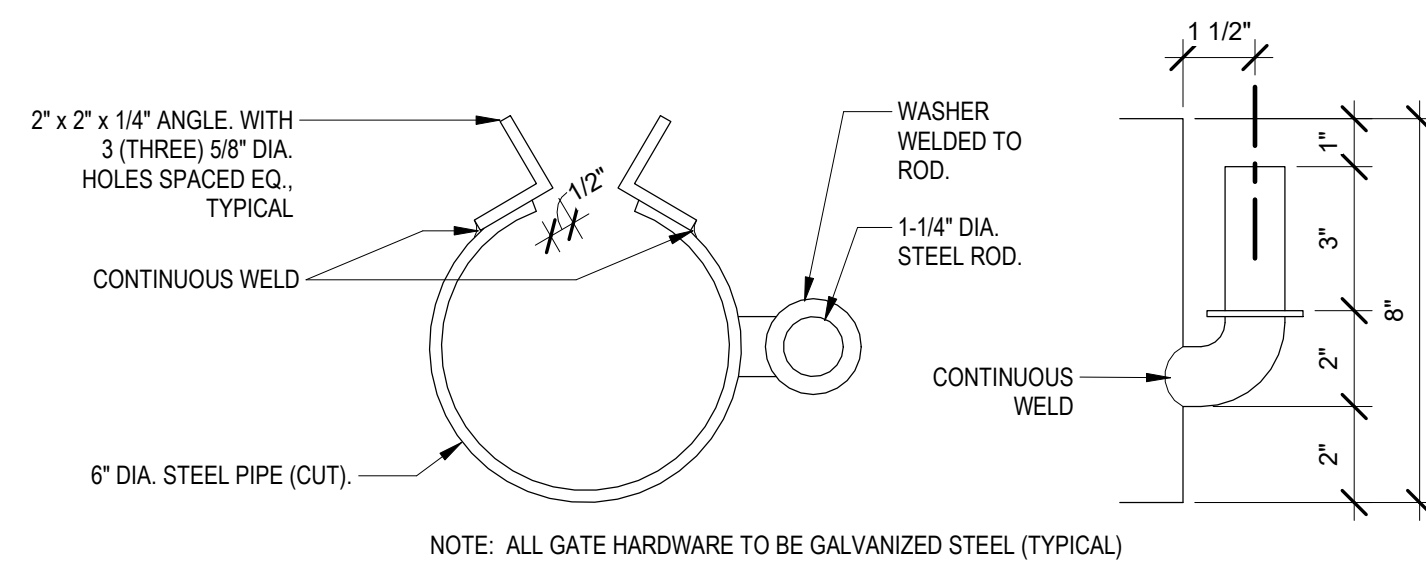
1 DUMPSTER ENCLOSURE - FRONT ELEVATION
A501 1/2" = 1'-0"



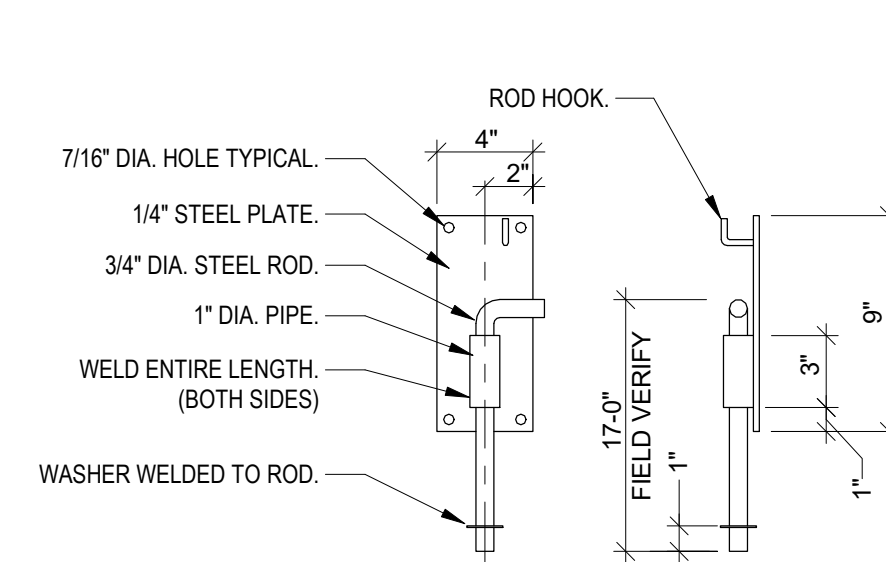
2 DUMPSTER ENCLOSURE CAP
A501 1/2" = 1'-0"



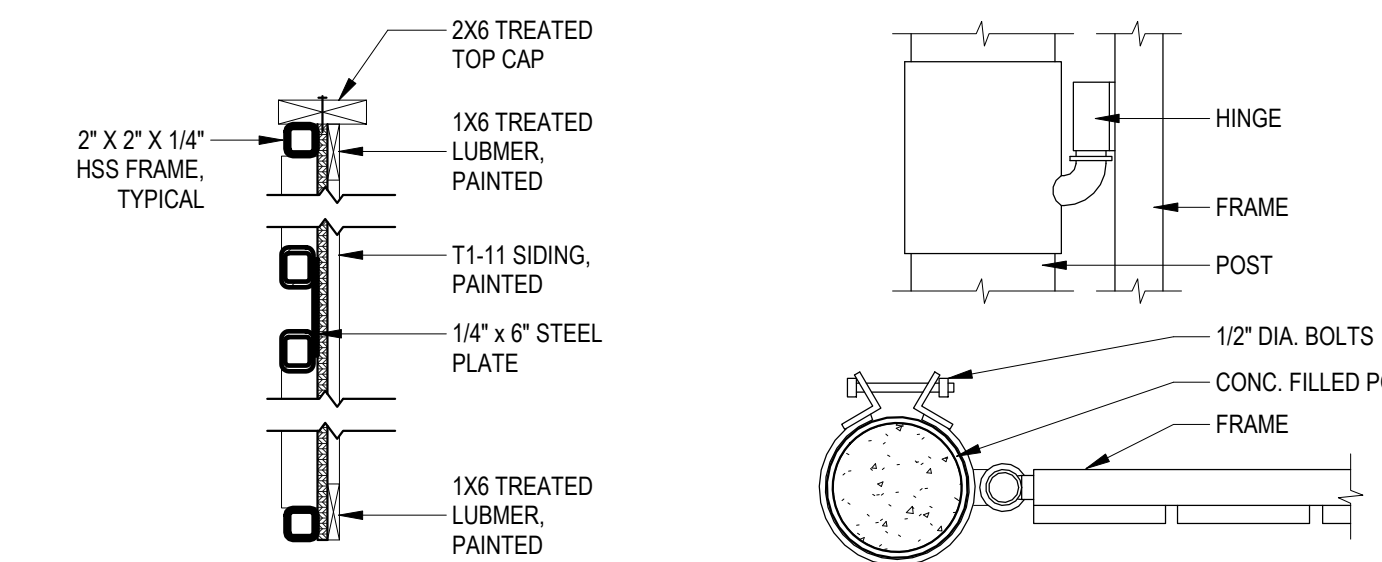
3 DUMPSTER ENCLOSURE - TOP
A501 1/2" = 1'-0"



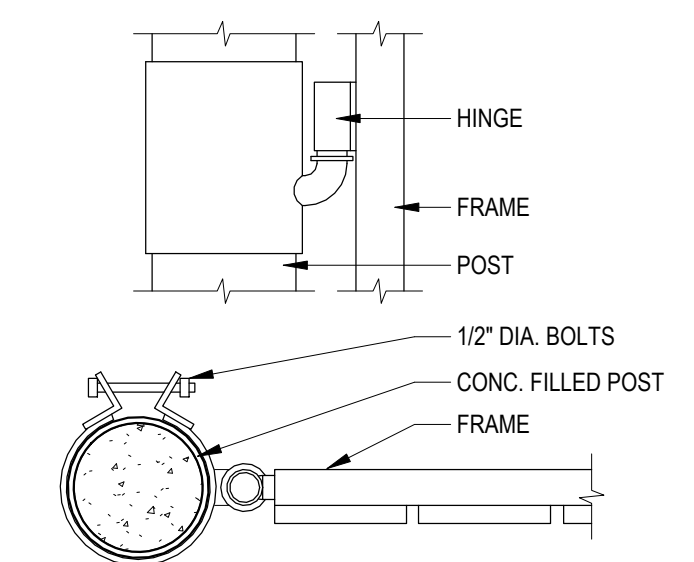
4 HINGE DETAIL
A501 3" = 1'-0"



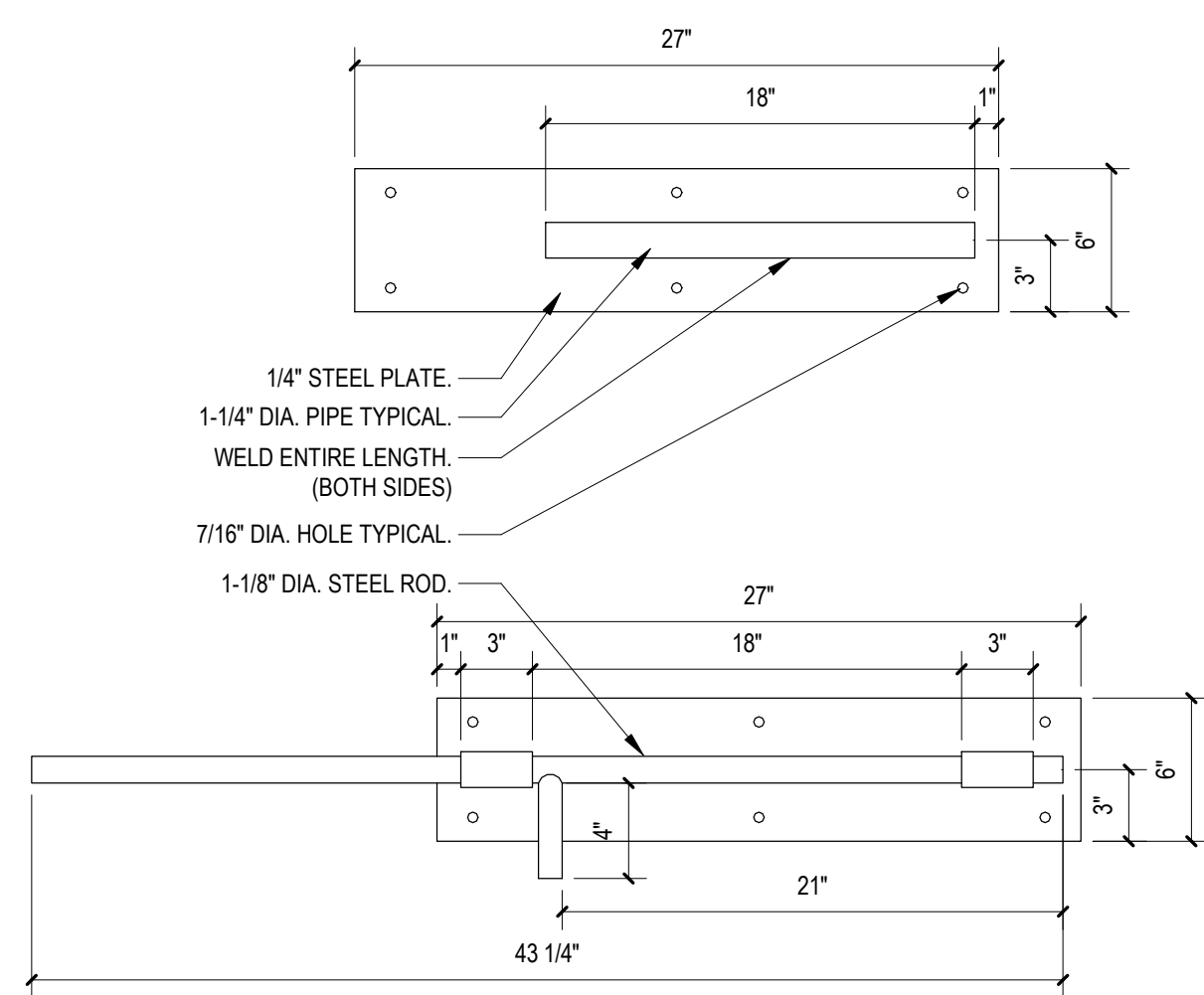
5 DUMPSTER DOOR - CANE BOLT DETAIL
A501 1 1/2" = 1'-0"



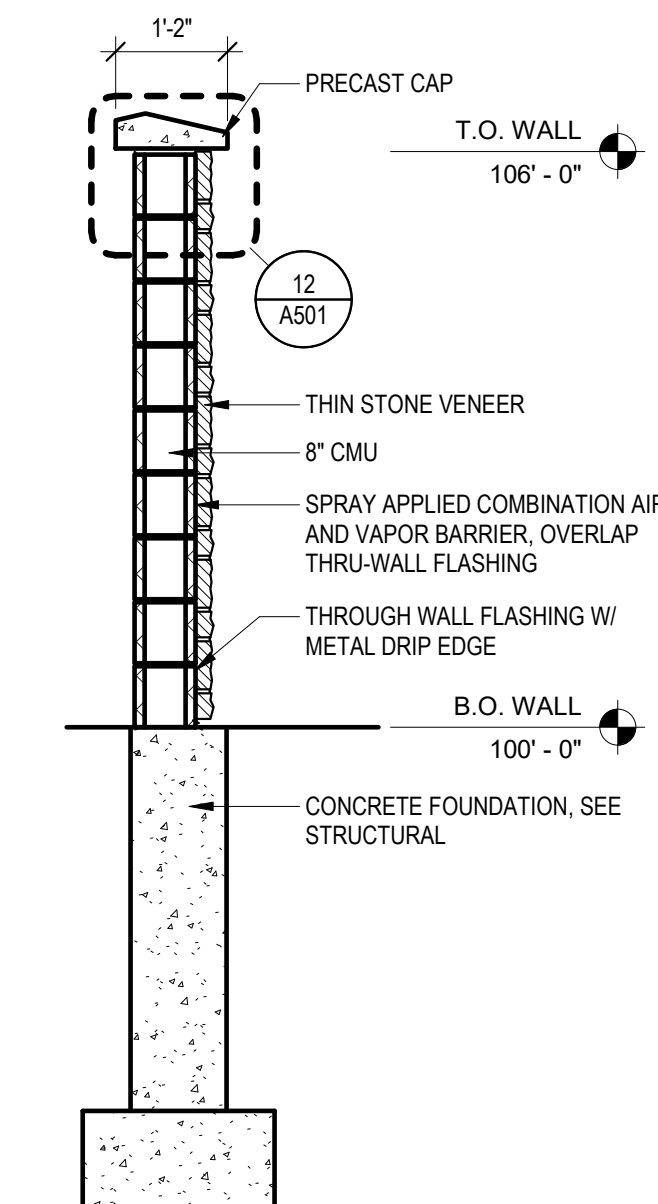
6 DUMPSTER GATE SECTION
A501 1" = 1'-0"



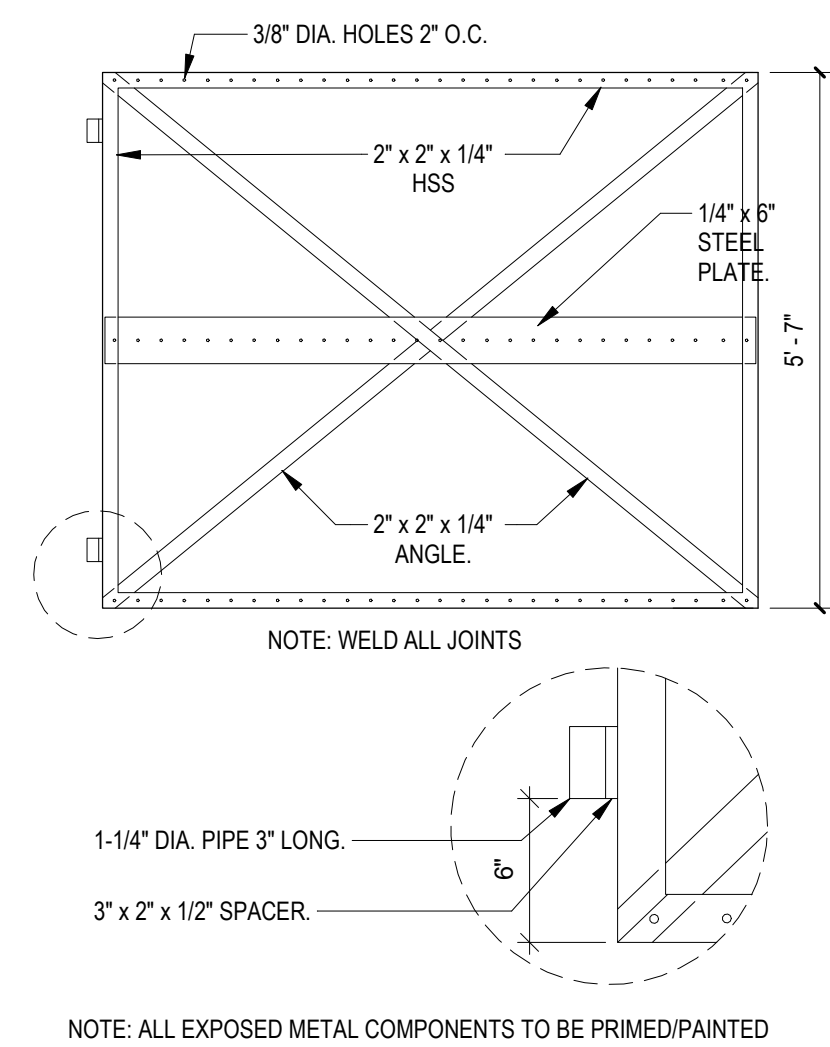
7 HINGE CONNECTION
A501 1 1/2" = 1'-0"



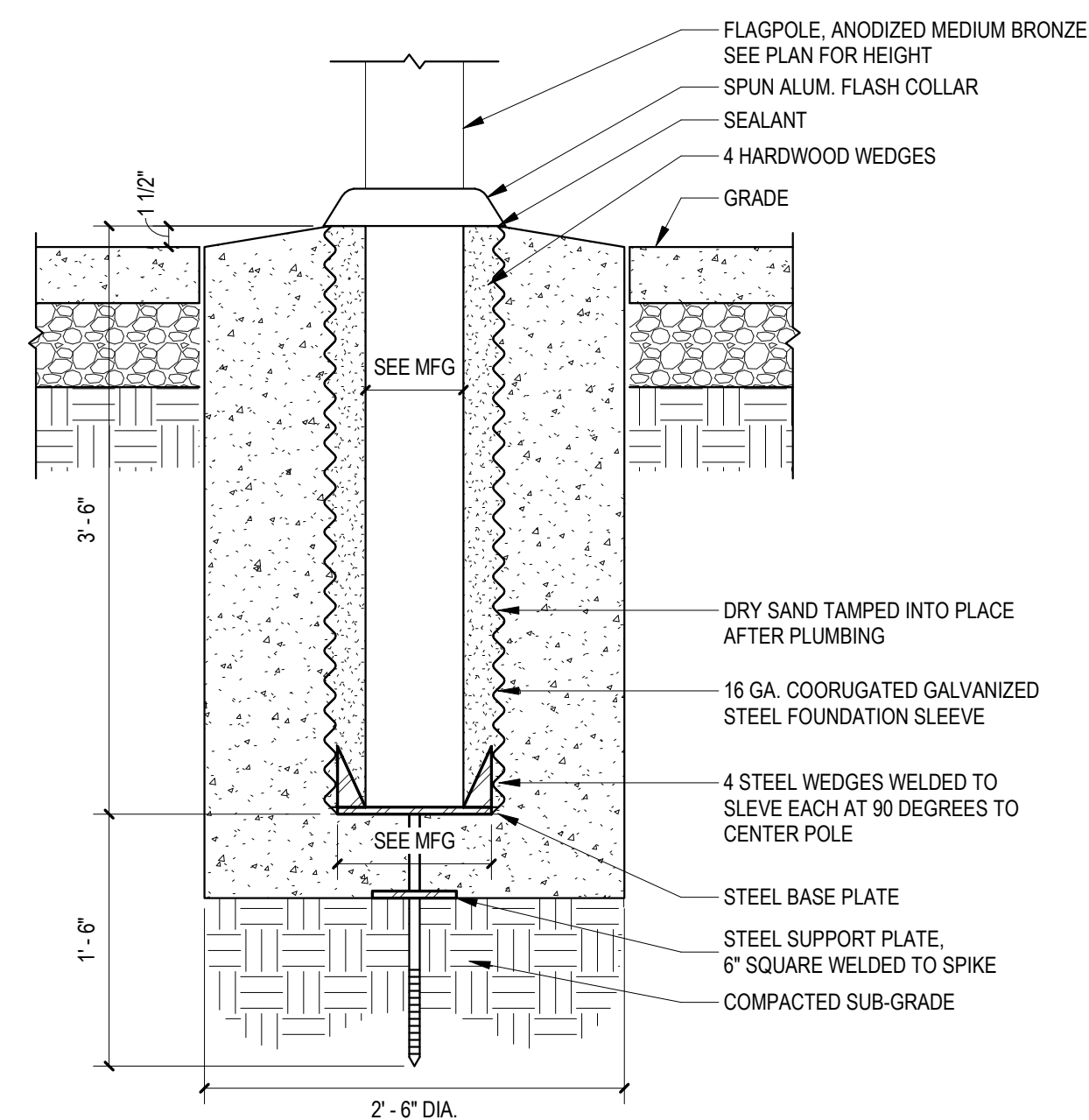
8 LATCH DETAIL
A501 1 1/2" = 1'-0"



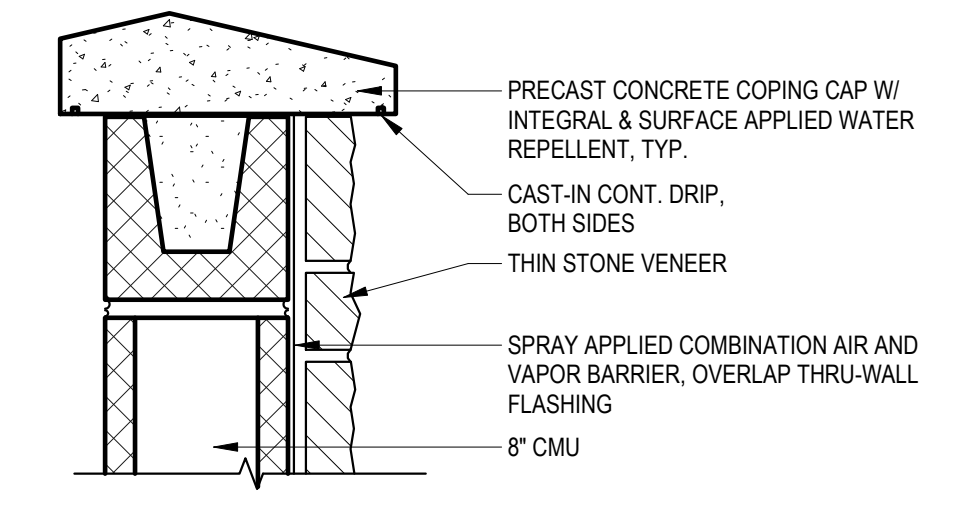
9 DUMPSTER SECTION
A501 1/2" = 1'-0"



10 GATE FRAME ELEVATION
A501 1/2" = 1'-0"



11 FLAG POLE BASE DETAIL
A501 1" = 1'-0"



12 TOP OF WALL DETAIL
A501 1 1/2" = 1'-0"



WEDGE1 LED

Architectural Wall Sconce



Catalog Number

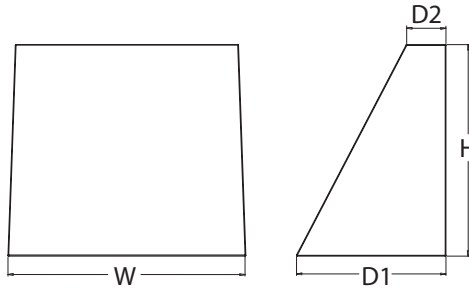
Notes

Type

Hit the Tab key or mouse over the page to see all interactive elements.

Specifications

Depth (D1): 5.5"
Depth (D2): 1.5"
Height: 8"
Width: 9"
Weight: 9 lbs
 (without options)



Introduction

The WEDGE LED family is designed to meet specifier's every wall-mounted lighting need in a widely accepted shape that blends with any architecture. The clean rectilinear design comes in four sizes with lumen packages ranging from 1,200 to 25,000 lumens, providing true site-wide solution.

WEDGE1 delivers up to 2,000 lumens with a soft, non-pixelated light source, creating a visually comfortable environment. The compact size of WEDGE1, with its integrated emergency battery backup option, makes it an ideal over-the-door wall-mounted lighting solution.

WEDGE LED Family Overview

Luminaire	Standard EM, 0°C	Cold EM, -20°C	Sensor	Lumens (4000K)					
				P1	P2	P3	P4	P5	P6
WEDGE1 LED	4W	--	--	1,200	2,000	--	--	--	--
WEDGE2 LED	10W	18W	Standalone / nLight	1,200	2,000	3,000	4,500	6,000	--
WEDGE3 LED	15W	18W	Standalone / nLight	7,500	8,500	10,000	12,000	--	--
WEDGE4 LED	--	--	Standalone / nLight	12,000	16,000	18,000	20,000	22,000	25,000

Ordering Information

EXAMPLE: WEDGE1 LED P2 40K 80CRI VF MVOLT SRM PE DDBXD

Series	Package	Color Temperature	CRI	Distribution	Voltage	Mounting
WEDGE1 LED	P0 P1 P2	27K 2700K 30K 3000K 35K 3500K 40K 4000K 50K ¹ 5000K	80CRI 90CRI	VF Visual comfort forward throw VW Visual comfort wide	MVOLT 347 ²	Shipped included SRM Surface mounting bracket ICW Indirect Canopy/Ceiling Washer bracket (dry/damp locations only) ⁵ Shipped separately AWS 3/8inch Architectural wall spacer PBBW Surface-mounted back box (top, left, right conduit entry) Use when there is no junction box available.

Options	Finish
E4WH ³ Emergency battery backup, Certified in CA Title 20 MAEDBS (4W, 0°C min)	DDBXD Dark bronze
PE ⁴ Photocell, Button Type	DBLXD Black
DS Dual switching (comes with 2 drivers and 2 light engines; see page 3 for details)	DNAXD Natural aluminum
DMG 0-10V dimming wires pulled outside fixture (for use with an external control, ordered separately)	DWHXD White
BCE Bottom conduit entry for back box (PBBW). Total of 4 entry points.	DSSXD Sandstone
BAA Buy America(n) Act Compliant	DDBTXD Textured dark bronze
DSLE Dual Switching (1 Driver, 2 Light Engines)	DBLTXD Textured black
	DNATXD Textured natural aluminum
	DWHGXD Textured white
	DSSTXD Textured sandstone



COMMERCIAL OUTDOOR

One Lithonia Way • Conyers, Georgia 30012 • Phone: 1-800-705-SERV (7378) • www.lithonia.com
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WEDGE1 LED
 Rev. 11/16/23

Accessories

Ordered and shipped separately.

WDGEAWS DDBXD	WDGE 3/8inch Architectural Wall Spacer (specify finish)
WDGE1P8BW DDBXD U	WDGE1 surface-mounted back box (specify finish)

NOTES

- 50K not available in 90CRI.
- 347V not available with E4WH, DS, DSLE or PE.
- E4WH not available with PE or DS.
- PE not available with DS.
- Not qualified for DLC. Not available with E4WH.

Performance Data

Lumen Output

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts. Contact factory for performance data on any configurations not shown here.

Performance Package	System Watts	Dist. Type	27K (2700K, 80 CRI)					30K (3000K, 80 CRI)					35K (3500K, 80 CRI)					40K (4000K, 80 CRI)					50K (5000K, 80 CRI)				
			Lumens	LPW	B	U	G	Lumens	LPW	B	U	G	Lumens	LPW	B	U	G	Lumens	LPW	B	U	G	Lumens	LPW	B	U	G
P0	7W	VF	693	99	0	0	0	718	103	0	0	0	739	106	0	0	0	759	108	0	0	0	764	109	0	0	0
		VW	694	99	0	0	0	720	103	0	0	0	740	106	0	0	0	760	109	0	0	0	766	109	0	0	0
P1	10W	VF	1,120	112	0	0	0	1,161	116	0	0	0	1,194	119	0	0	0	1,227	123	0	0	0	1,235	123	0	0	0
		VW	1,122	112	0	0	0	1,163	116	0	0	0	1,196	120	0	0	0	1,229	123	0	0	0	1,237	124	0	0	0
P2	15W	VF	1,806	120	1	0	0	1,872	125	1	0	0	1,925	128	1	0	0	1,978	132	1	0	0	1,992	133	1	0	0
		VW	1,809	120	1	0	0	1,876	125	1	0	0	1,929	128	1	0	0	1,982	132	1	0	0	1,996	133	1	0	0

Electrical Load

Performance Package	System Watts	Current (A)				
		120V	208V	240V	277V	347V
P1	10W	0.082	0.049	0.043	0.038	--
	13W	--	--	--	--	0.046
P2	15W	0.132	0.081	0.072	0.064	--
	18W	--	--	--	--	0.056

Lumen Multiplier for 90CRI

CCT	Multiplier
27K	0.845
30K	0.867
35K	0.845
40K	0.885
50K	0.898

Lumen Output in Emergency Mode (4000K, 80 CRI)

Option	Dist. Type	Lumens
E4WH	VF	646
	VW	647

Lumen Ambient Temperature (LAT) Multipliers

Use these factors to determine relative lumen output for average ambient temperatures from 0-40°C (32-104°F).

Ambient	Lumen Multiplier
0°C / 32°F	1.03
10°C / 50°F	1.02
20°C / 68°F	1.01
25°C / 77°F	1.00
30°C / 86°F	0.99
40°C / 104°F	0.98

Projected LED Lumen Maintenance

Data references the extrapolated performance projections for the platforms noted in a 25°C ambient, based on 10,000 hours of LED testing (tested per IESNA LM-80-08 and projected per IESNA TM-21-11).

To calculate LLF, use the lumen maintenance factor that corresponds to the desired number of operating hours below. For other lumen maintenance values, contact factory.

Operating Hours	0	25,000	50,000	100,000
Lumen Maintenance Factor	1.0	>0.96	>0.95	>0.91



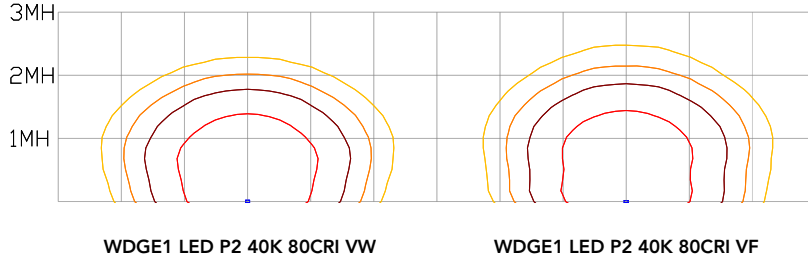
Photometric Diagrams

To see complete photometric reports or download .ies files for this product, visit the Lithonia Lighting WDGE LED homepage. Tested in accordance with IESNA LM-79 and LM-80 standards.

LEGEND



MH = 8ft
Grid = 8ft x 8ft



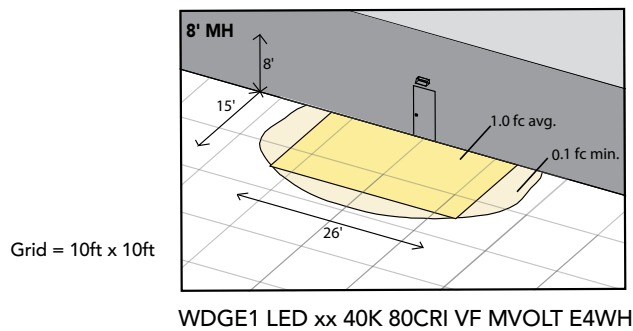
Emergency Egress Options

Emergency Battery Backup

The emergency battery backup is integral to the luminaire — no external housing required! This design provides reliable emergency operation while maintaining the aesthetics of the product. All emergency battery backup configurations include an independent secondary driver with an integral relay to immediately detect loss of normal power and automatically energize the luminaire. The emergency battery will power the luminaire for a minimum duration of 90 minutes (maximum duration of three hours) from the time normal power is lost and maintain a minimum of 60% of the light output at the end of 90minutes.

Applicable codes: NFPA 70/NEC – section 700.16, NFPA 101 Life Safety Code Section 7.9

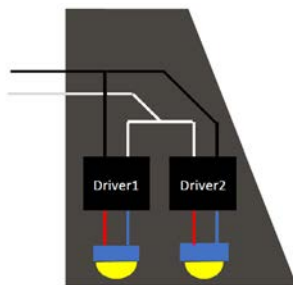
The example below shows illuminance of 1 fc average and 0.1 fc minimum in emergency mode with E4WH and VF distribution.



Dual Switching (DS) Option

The dual switching option offers operational redundancy that certain codes require. With this option the luminaire comes integrated with two drivers and two light engines. These work completely independent to each other so that a failure of any individual component does not cause the whole luminaire to go dark.

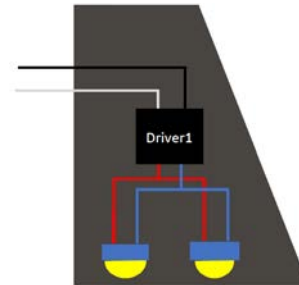
Applicable codes: NFPA 70/NEC – section 700.16, NFPA 101 Life Safety Code Section 7.9



Dual Switching Light Engine (DSLE) Option

The dual switching option offers operational redundancy that certain codes require. With this option the luminaire comes integrated with one driver and two light engines. These work completely independent to each other so that a failure of either light engine does not cause the whole luminaire to go dark.

Applicable codes: NFPA 70/NEC – section 700.16, NFPA 101 Life Safety Code Section 7.9





E4WH – 4W Emergency Battery Backup

D = 5.5"

H = 8"

W = 9"



PBBW – Surface-Mounted Back Box

Use when there is no junction box available.

D = 1.75"

H = 8"

W = 9"



AWS – 3/8inch Architectural Wall Spacer

D = 0.38"

H = 4.4"

W = 7.5"

FEATURES & SPECIFICATIONS

INTENDED USE

Common architectural look, with clean rectilinear shape, of the WDGE LED was designed to blend with any type of construction, whether it be tilt-up, frame or brick. Applications include commercial offices, warehouses, hospitals, schools, malls, restaurants, and other commercial buildings.

CONSTRUCTION

The single-piece die-cast aluminum housing integrates secondary heat sinks to optimize thermal transfer from the internal light engine heat sinks and promote long life. The driver is mounted in direct contact with the casting for a low operating temperature and long life. The die-cast door frame is fully gasketed with a one-piece solid silicone gasket to keep out moisture and dust, providing an IP66 rating for the luminaire.

FINISH

Exterior painted parts are protected by a zinc-infused Super Durable TGIC thermoset powder coat finish that provides superior resistance to corrosion and weathering. A tightly controlled multi-stage process ensures a 3 mils thickness for a finish that can withstand extreme climate changes without cracking or peeling. Standard Super Durable colors include dark bronze, black, natural aluminum, sandstone and white. Available in textured and non-textured finishes.

OPTICS

Well crafted reflector optics allow the light engine to be recessed within the luminaire, providing visual comfort, superior distribution, uniformity, and spacing in wall-mount applications. The WDGE LED has zero uplight and qualifies as a Nighttime Friendly™ product, meaning it is consistent with the LEED® and Green Globes™ criteria for eliminating wasteful uplight.

ELECTRICAL

Light engine consists of high-efficiency LEDs mounted to metal-core circuit boards to maximize heat dissipation and promote long life (up to L91/100,000 hours at 25°C). The electronic driver has a power factor of >90%, THD <20%. Luminaire comes with built in 6kV surge protection, which meets a minimum Category C low exposure (per ANSI/IEEE C62.41.2). Fixture ships standard with 0-10v dimmable driver.

INSTALLATION

A universal mounting plate with integral mounting support arms allows the fixture to hinge down for easy access while making wiring connections. The 3/8" Architectural Wall Spacer (AWS) can be used to create a floating appearance or to accommodate small imperfections in the wall surface. The ICW option can be used to mount the luminaire inverted for indirect lighting in dry and damp locations. Design can withstand up to a 1.5 G vibration load rating per ANSI C136.31.

LISTINGS

CSA certified to U.S. and Canadian standards. Luminaire is IP66 rated. PIR options are rated for wet location. Rated for -40°C minimum ambient. DesignLights Consortium® (DLC) Premium qualified product and DLC qualified product. Not all versions of this product may be DLC Premium qualified or DLC qualified. Please check the DLC Qualified Products List at www.designlights.org/QPL to confirm which versions are qualified. International Dark-Sky Association (IDA) Fixture Seal of Approval (FSA) is available for all products on this page utilizing 2700K and 3000K color temperature only and SRM mounting only.

BUY AMERICAN ACT

Product with the BAA option is assembled in the USA and meets the Buy America(n) government procurement requirements under FAR, DFARS and DOT regulations. Please refer to www.acuitybrands.com/buy-american for additional information.

WARRANTY

5-year limited warranty. This is the only warranty provided and no other statements in this specification sheet create any warranty of any kind. All other express and implied warranties are disclaimed. Complete warranty terms located at: www.acuitybrands.com/support/warranty/terms-and-conditions

Note: Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25 °C. Specifications subject to change without notice.



WDGE2 LED

Architectural Wall Sconce

Precision Refractive Optic



Catalog Number

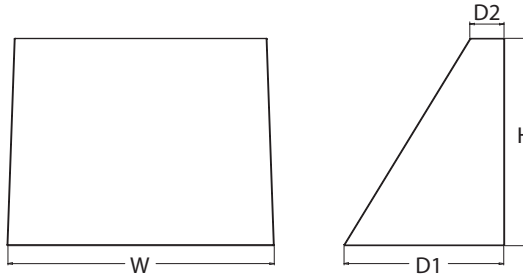
Notes

Type

Hit the Tab key or mouse over the page to see all interactive elements.

Specifications

- Depth (D1):** 7"
- Depth (D2):** 1.5"
- Height:** 9"
- Width:** 11.5"
- Weight:** 13.5 lbs
(without options)



Introduction

The WDGE LED family is designed to meet specifier's every wall-mounted lighting need in a widely accepted shape that blends with any architecture. The clean rectilinear design comes in four sizes with lumen packages ranging from 1,200 to 25,000 lumens, providing a true site-wide solution. Embedded with nLight® AIR wireless controls, the WDGE family provides additional energy savings and code compliance.

WDGE2 with industry leading precision refractive optics provides great uniform distribution and optical control. When combined with multiple integrated emergency battery backup options, including an 18W cold temperature option, the WDGE2 becomes the ideal wall-mounted lighting solution for pedestrian scale applications in any environment.

WDGE LED Family Overview

Luminaire	Optics	Standard EM, 0°C	Cold EM, -20°C	Sensor	Approximate Lumens (4000K, 80CRI)						
					P0	P1	P2	P3	P4	P5	P6
WDGE1 LED	Visual Comfort	4W		--	750	1,200	2,000	--	--	--	--
WDGE2 LED	Visual Comfort	10W	18W	Standalone / nLight	--	1,200	2,000	3,000	4,500	6,000	--
WDGE2 LED	Precision Refractive	10W	18W	Standalone / nLight	700	1,200	2,000	3,200	4,200	--	--
WDGE3 LED	Precision Refractive	15W	18W	Standalone / nLight	--	7,500	8,500	10,000	12,000	--	--
WDGE4 LED	Precision Refractive			Standalone / nLight	--	12,000	16,000	18,000	20,000	22,000	25,000

Ordering Information

EXAMPLE: WDGE2 LED P3 40K 80CRI VF MVOLT SRM DDBXD

Series	Package	Color Temperature	CRI	Distribution	Voltage	Mounting
WDGE2 LED	P0 ¹ P1 ² P2² P3 ² P4 ²	27K 2700K 30K 3000K 40K 4000K 50K 5000K AMB ³ Amber	70CRI⁴ 80CRI LW ³ Limited Wavelength	T1S Type I Short T2M Type II Medium T3M Type III Medium T4M Type IV Medium TFTM Forward Throw Medium	MVOLT 347 ⁵ 480 ⁵	Shipped included SRM Surface mounting bracket ICW Indirect Canopy/Ceiling Washer bracket (dry/damp locations only) ⁶ Shipped separately AWS 3/8inch Architectural wall spacer PBBW Surface-mounted back box (top, left, right conduit entry). Use when there is no junction box available.

Options	Finish
E10WH Emergency battery backup, Certified in CA Title 20 MAEDBS (10W, 5°C min)	DDBXD Dark bronze
E20WC Emergency battery backup, Certified in CA Title 20 MAEDBS (18W, -20°C min)	DBLXD Black
PE⁷ Photocell, Button Type	DNAXD Natural aluminum
DMG⁸ 0-10V dimming wires pulled outside fixture (for use with an external control, ordered separately)	DWHXD White
BCE Bottom conduit entry for back box (PBBW). Total of 4 entry points.	DSSXD Sandstone
BAA Buy America(n) Act Compliant	DBBTXD Textured dark bronze
Standalone Sensors/Controls	DBL BXD Textured black
PIR Bi-level (100/35%) motion sensor for 8-15' mounting heights. Intended for use on switched circuits with external dusk to dawn switching.	DNATXD Textured natural aluminum
PIRH Bi-level (100/35%) motion sensor for 15-30' mounting heights. Intended for use on switched circuits with external dusk to dawn switching	DWHGXD Textured white
PIR1FC3V Bi-level (100/35%) motion sensor for 8-15' mounting heights with photocell pre-programmed for dusk to dawn operation.	DSSTXD Textured sandstone
PIRH1FC3V Bi-level (100/35%) motion sensor for 15-30' mounting heights with photocell pre-programmed for dusk to dawn operation.	
Networked Sensors/Controls	
NLTAIR2 PIR nLightAIR Wireless enabled bi-level motion/ambient sensor for 8-15' mounting heights.	
NLTAIR2 PIRH nLightAIR Wireless enabled bi-level motion/ambient sensor for 15-30' mounting heights.	
See page 4 for out of box functionality	



COMMERCIAL OUTDOOR

One Lithonia Way • Conyers, Georgia 30012 • Phone: 1-800-705-SERV (7378) • www.lithonia.com
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WDGE2 LED
Rev. 11/21/22

Accessories

Ordered and shipped separately.

WDGEAWS DDBXD WDGE 3/8inch Architectural Wall Spacer (specify finish)
WDGE2P8BW DDBXD U WDGE2 surface-mounted back box (specify finish)

NOTES

- 1 PO option not available with sensors/controls.
- 2 P1-P4 not available with AMB and LW.
- 3 AMB and LW always go together.
- 4 70CRI only available with T3M and T4M.
- 5 347V and 480V not available with E10WH or E20WC.
- 6 Not qualified for DLC. Not available with emergency battery backup or sensors/controls.
- 7 PE not available in 480V or with sensors/controls.
- 8 DMG option not available with sensors/controls.

Performance Data

Lumen Output

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts. Contact factory for performance data on any configurations not shown here.

Performance Package	System Watts	Dist. Type	27K (2700K, 80 CRI)					30K (3000K, 80 CRI)					40K (4000K, 80 CRI)					50K (5000K, 80 CRI)					Amber (Limited Wavelength)				
			Lumens	LPW	B	U	G	Lumens	LPW	B	U	G	Lumens	LPW	B	U	G	Lumens	LPW	B	U	G	Lumens	LPW	B	U	G
P0	7W	T1S	636	92	0	0	0	666	97	0	0	0	699	101	0	0	1	691	100	0	0	1	712	47	0	0	1
		T2M	662	96	0	0	0	693	101	0	0	0	728	106	0	0	0	719	104	0	0	0	741	48	0	0	0
		T3M	662	96	0	0	0	693	101	0	0	0	728	106	0	0	0	719	104	0	0	0	741	48	0	0	0
		T4M	648	94	0	0	0	679	98	0	0	0	712	103	0	0	0	704	102	0	0	0	726	47	0	0	0
		TFTM	652	95	0	0	0	683	99	0	0	0	717	104	0	0	0	708	103	0	0	0	730	48	0	0	1
P1	11W	T1S	1,105	99	0	0	1	1,157	104	0	0	1	1,215	109	0	0	1	1,200	107	0	0	1					
		T2M	1,150	103	0	0	1	1,204	108	0	0	1	1,264	113	0	0	1	1,249	112	0	0	1					
		T3M	1,150	103	0	0	1	1,205	108	0	0	1	1,265	113	0	0	1	1,250	112	0	0	1					
		T4M	1,126	101	0	0	1	1,179	106	0	0	1	1,238	111	0	0	1	1,223	110	0	0	1					
		TFTM	1,133	101	0	0	1	1,186	106	0	0	1	1,245	112	0	0	1	1,230	110	0	0	1					
P2	19W	T1S	1,801	95	1	0	1	1,886	99	1	0	1	1,981	104	1	0	1	1,957	103	1	0	1					
		T2M	1,875	99	1	0	1	1,963	103	1	0	1	2,061	109	1	0	1	2,037	107	1	0	1					
		T3M	1,876	99	1	0	1	1,964	103	1	0	1	2,062	109	1	0	1	2,038	107	1	0	1					
		T4M	1,836	97	1	0	1	1,922	101	1	0	1	2,018	106	1	0	1	1,994	105	1	0	1					
		TFTM	1,847	97	1	0	1	1,934	102	1	0	1	2,030	107	1	0	1	2,006	106	1	0	1					
P3	32W	T1S	2,809	87	1	0	1	2,942	92	1	0	1	3,089	96	1	0	1	3,052	95	1	0	1					
		T2M	2,924	91	1	0	1	3,062	95	1	0	1	3,215	100	1	0	1	3,176	99	1	0	1					
		T3M	2,925	91	1	0	1	3,063	95	1	0	1	3,216	100	1	0	1	3,177	99	1	0	1					
		T4M	2,862	89	1	0	1	2,997	93	1	0	1	3,147	98	1	0	1	3,110	97	1	0	1					
		TFTM	2,880	90	1	0	1	3,015	94	1	0	1	3,166	99	1	0	1	3,128	97	1	0	1					
P4	47W	T1S	3,729	80	1	0	1	3,904	84	1	0	1	4,099	88	1	0	1	4,051	87	1	0	1					
		T2M	3,881	83	1	0	1	4,063	87	1	0	1	4,267	91	1	0	1	4,216	90	1	0	1					
		T3M	3,882	83	1	0	1	4,065	87	1	0	1	4,268	91	1	0	1	4,217	90	1	0	1					
		T4M	3,799	81	1	0	1	3,978	85	1	0	1	4,177	90	1	0	1	4,127	88	1	0	1					
		TFTM	3,822	82	1	0	1	4,002	86	1	0	1	4,202	90	1	0	1	4,152	89	1	0	1					

Performance Package	System Watts	Dist. Type	27K (2700K, 70 CRI)					30K (3000K, 70 CRI)					40K (4000K, 70 CRI)					50K (5000K, 70 CRI)									
			Lumens	LPW	B	U	G	Lumens	LPW	B	U	G	Lumens	LPW	B	U	G	Lumens	LPW	B	U	G					
P0	7W	T3M	737	107	0	0	0	763	111	0	0	0	822	119	0	0	0	832	121	0	0	1					
		T4M	721	105	0	0	0	746	108	0	0	0	804	117	0	0	1	814	118	0	0	1					
P1	11W	T3M	1,280	115	0	0	1	1,325	119	0	0	1	1,427	128	1	0	1	1,445	129	1	0	1					
		T4M	1,253	112	0	0	1	1,297	116	0	0	1	1,397	125	0	0	1	1,415	127	0	0	1					
P2	19W	T3M	2,087	110	1	0	1	2,160	114	1	0	1	2,327	123	1	0	1	2,357	124	1	0	1					
		T4M	2,042	108	1	0	1	2,114	111	1	0	1	2,278	120	1	0	1	2,306	121	1	0	1					
P3	32W	T3M	3,254	101	1	0	1	3,369	105	1	0	1	3,629	113	1	0	1	3,675	114	1	0	1					
		T4M	3,185	99	1	0	1	3,297	103	1	0	1	3,552	111	1	0	1	3,597	112	1	0	1					
P4	47W	T3M	4,319	93	1	0	1	4,471	96	1	0	1	4,817	103	1	0	2	4,878	105	1	0	2					
		T4M	4,227	91	1	0	1	4,376	94	1	0	2	4,714	101	1	0	2	4,774	102	1	0	2					



Electrical Load

Performance Package	System Watts	Current (A)					
		120Vac	208Vac	240Vac	277Vac	347Vac	480Vac
P0	7.0	0.061	0.042	0.04	0.039	--	--
	9.0	--	--	--	--	0.031	0.021
P1	11.0	0.100	0.064	0.059	0.054	--	--
	14.1	--	--	--	--	0.046	0.031
P2	19.0	0.168	0.106	0.095	0.083	--	--
	22.8	--	--	--	--	0.067	0.050
P3	32.0	0.284	0.163	0.144	0.131	--	--
	37.1	--	--	--	--	0.107	0.079
P4	47.0	0.412	0.234	0.207	0.185	--	--
	53.5	--	--	--	--	0.153	0.112

Lumen Output in Emergency Mode (4000K, 80 CRI, T3M)

Option	Lumens
E10WH	1,358
E20WC	2,230

Lumen Ambient Temperature (LAT) Multipliers

Use these factors to determine relative lumen output for average ambient temperatures from 0-40°C (32-104°F).

Ambient		Lumen Multiplier
0°C	32°F	1.03
10°C	50°F	1.02
20°C	68°F	1.01
25°C	77°F	1.00
30°C	86°F	0.99
40°C	104°F	0.97

Projected LED Lumen Maintenance

Data references the extrapolated performance projections for the platforms noted in a 25°C ambient, based on 10,000 hours of LED testing (tested per IESNA LM-80-08 and projected per IESNA TM-21-11).

To calculate LLF, use the lumen maintenance factor that corresponds to the desired number of operating hours below. For other lumen maintenance values, contact factory.

Operating Hours	0	25,000	50,000	100,000
Lumen Maintenance Factor	1.0	>0.96	>0.93	>0.87

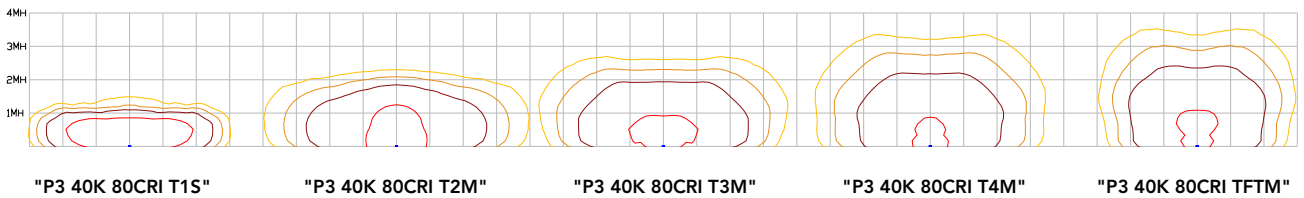
Photometric Diagrams

To see complete photometric reports or download .ies files for this product, visit the Lithonia Lighting WDG2 LED homepage. Tested in accordance with IESNA LM-79 and LM-80 standards.

LEGEND

■	0.25 fc
■	0.5 fc
■	1.0 fc
■	3.0 fc

MH = 10ft
Grid = 10ft x 10ft



Emergency Egress Options

Emergency Battery Backup

The emergency battery backup is integral to the luminaire — no external housing required! This design provides reliable emergency operation while maintaining the aesthetics of the product. All emergency battery backup configurations include an independent secondary driver with an integral relay to immediately detect loss of normal power and automatically energize the luminaire. The emergency battery will power the luminaire for a minimum duration of 90 minutes (maximum duration of three hours) from the time normal power is lost and maintain a minimum of 60% of the light output at the end of 90minutes.

Applicable codes: NFPA 70/NEC – section 700.16, NFPA 101 Life Safety Code Section 7.9

Motion/Ambient Sensor (PIR, PIRH)

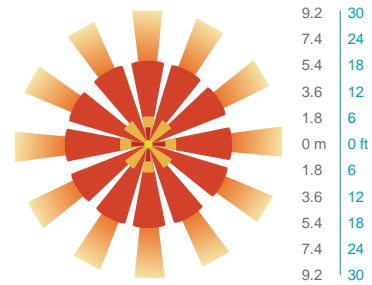
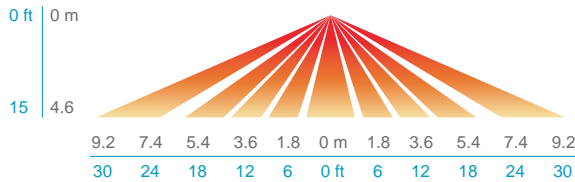
Motion/Ambient sensor (Sensor Switch MSOD) is integrated into the the luminaire. The sensor provides both Motion and Daylight based dimming of the luminaire. For motion detection, the sensor utilizes 100% Digital Passive Infrared (PIR) technology that is tuned for walking size motion while preventing false tripping from the environment. The integrated photocell enables additional energy savings during daytime periods when there is sufficient daylight. Optimize sensor coverage by either selecting PIR or PIRH option. PIR option comes with a sensor lens that is optimized to provide maximum coverage for mounting heights between 8-15ft, while PIRH is optimized for 15-40ft mounting height.

Networked Control (NLTAIR2)

nLight® AIR is a wireless lighting controls platform that allows for seamless integration of both indoor and outdoor luminaires. Five-tier security architecture, 900 MHz wireless communication and app (CLAIRITY™ Pro) based configurability combined together make nLight® AIR a secure, reliable and easy to use platform.

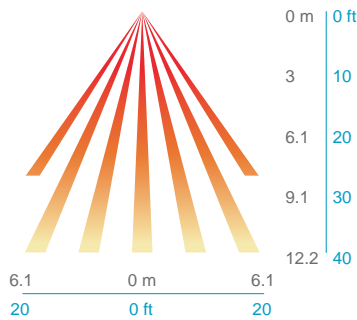
PIR

HIGH VIEW

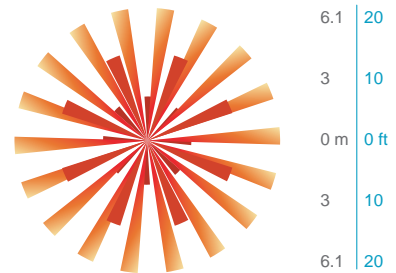


PIRH

SIDE VIEW



TOP VIEW



Option	Dim Level	High Level (when triggered)	Photocell Operation	Motion Time Delay	Ramp-down Time	Ramp-up Time
PIR or PIRH	Motion - 3V (37% of full output) Photocell - 0V (turned off)	10V (100% output)	Enabled @ 5fc	5 min	5 min	Motion - 3 sec Photocell - 45 sec
PIR1FC3V, PIRH1FC3V	Motion - 3V (37% of full output) Photocell - 0V (turned off)	10V (100% output)	Enabled @ 1fc	5 min	5 min	Motion - 3 sec Photocell - 45 sec
NLTAIR2 PIR, NLTAIR2 PIRH (out of box)	Motion - 3V (37% of full output) Photocell - 0V (turned off)	10V (100% output)	Enabled @ 5fc	7.5 min	5 min	Motion - 3 sec Photocell - 45 sec



Motion/Ambient Sensor

D = 7"
 H = 9" (Standalone controls)
 11" (nLight AIR controls, 2" antenna will be pointing down behind the sensor)
 W = 11.5"



PBBW – Surface-Mounted Back Box Use when there is no junction box available.

D = 1.75"
 H = 9"
 W = 11.5"



AWS – 3/8inch Architectural Wall Spacer

D = 0.38"
 H = 4.4"
 W = 7.5"

FEATURES & SPECIFICATIONS

INTENDED USE

Common architectural look, with clean rectilinear shape, of the WDGE LED was designed to blend with any type of construction, whether it be tilt-up, frame or brick. Applications include commercial offices, warehouses, hospitals, schools, malls, restaurants, and other commercial buildings.

CONSTRUCTION

The single-piece die-cast aluminum housing integrates secondary heat sinks to optimize thermal transfer from the internal light engine heat sinks and promote long life. The driver is mounted in direct contact with the casting for a low operating temperature and long life. The die-cast door frame is fully gasketed with a one-piece solid silicone gasket to keep out moisture and dust, providing an IP66 rating for the luminaire.

FINISH

Exterior painted parts are protected by a zinc-infused Super Durable TGIC thermoset powder coat finish that provides superior resistance to corrosion and weathering. A tightly controlled multi-stage process ensures a 3 mils thickness for a finish that can withstand extreme climate changes without cracking or peeling. Standard Super Durable colors include dark bronze, black, natural aluminum, sandstone and white. Available in textured and non-textured finishes.

OPTICS

Individually formed acrylic lenses are engineered for superior application efficiency which maximizes the light in the areas where it is most needed. The WDGE LED has zero uplight and qualifies as a Nighttime Friendly™ product, meaning it is consistent with the LEED® and Green Globes™ criteria for eliminating wasteful uplight.

ELECTRICAL

Light engine consists of high-efficacy LEDs mounted to metal-core circuit boards to maximize heat dissipation and promote long life (up to L91/100,000 hours at 25°C). The electronic driver has a power factor of >90%, THD <20%. Luminaire comes with built in 6kV surge protection, which meets a minimum Category C low exposure (per ANSI/IEEE C62.41.2). Fixture ships standard with 0-10v dimmable driver.

INSTALLATION

A universal mounting plate with integral mounting support arms allows the fixture to hinge down for easy access while making wiring connections. The 3/8" Architectural Wall Spacer (AWS) can be used to create a floating appearance or to accommodate small imperfections in the wall surface. The ICW option can be used to mount the luminaire inverted for indirect lighting in dry and damp locations. Design can withstand up to a 1.5 G vibration load rating per ANSI C136.31.

LISTINGS

CSA certified to U.S. and Canadian standards. Luminaire is IP66 rated. PIR options are rated for wet location. Rated for -40°C minimum ambient. DesignLights Consortium® (DLC) Premium qualified product and DLC qualified product. Not all versions of this product may be DLC Premium qualified or DLC qualified. Please check the DLC Qualified Products List at www.designlights.org/QPL to confirm which versions are qualified. International Dark-Sky Association (IDA) Fixture Seal of Approval (FSA) is available for all products on this page utilizing 2700K and 3000K color temperature only and SRM mounting only.

BUY AMERICAN ACT

Product with the BAA option is assembled in the USA and meets the Buy America(n) government procurement requirements under FAR, DFARS and DOT regulations. Please refer to www.acuitybrands.com/buy-american for additional information.

WARRANTY

5-year limited warranty. This is the only warranty provided and no other statements in this specification sheet create any warranty of any kind. All other express and implied warranties are disclaimed. Complete warranty terms located at: www.acuitybrands.com/support/warranty/terms-and-conditions

Note: Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25 °C. Specifications subject to change without notice.



D-Series Size 2 LED Wall Luminaire



d⁺series

Specifications Luminaire

Width: 18-1/2" (47.0 cm) **Weight:** 21 lbs (9.5 kg)

Depth: 10" (25.4 cm)

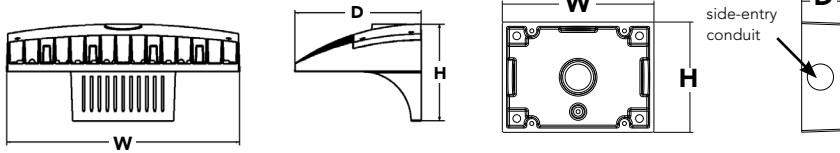
Height: 7-5/8" (19.4 cm)

Back Box (BBW)

Width: 5-1/2" (14.0 cm) **BBW Weight:** 1 lbs (0.5 kg)

Depth: 1-1/2" (3.8 cm)

Height: 4" (10.2 cm)



Catalog Number
Notes
Type

Hit the Tab key or mouse over the page to see all interactive elements.

A+ Capable Luminaire

This item is an A+ capable luminaire, which has been designed and tested to provide consistent color appearance and system-level interoperability.

- All configurations of this luminaire meet the Acuity Brands' specification for chromatic consistency
- This luminaire is A+ Certified when ordered with DTL® controls marked by a shaded background. DTL DLL equipped luminaires meet the A+ specification for luminaire to photocontrol interoperability¹
- This luminaire is part of an A+ Certified solution for ROAM® or XPoint™ Wireless control networks, providing out-of-the-box control compatibility with simple commissioning, when ordered with drivers and control options marked by a shaded background¹

To learn more about A+, visit www.acuitybrands.com/aplus.

1. See ordering tree for details.
2. A+ Certified Solutions for ROAM require the order of one ROAM node per luminaire. Sold Separately: [Link to Roam](#); [Link to DTL DLL](#)

A+ Capable options indicated by this color background.

Ordering Information

EXAMPLE: DSXW2 LED 30C 700 40K T3M MVOLT DDBTXD

DSXW2 LED	Series	LEDs	Drive Current	Color temperature	Distribution	Voltage	Mounting	Control Options
DSXW2 LED	20C	20 LEDs (two engines)	350 350 mA 530 530 mA 700 700 mA	30K 3000 K 40K 4000 K 50K 5000 K	T2S Type II Short T2M Type II Medium T3S Type III Short T3M Type III Medium T4M Type IV Medium TFTM Forward Throw Medium	MVOLT³ 120 ⁴ 208 ⁴ 240 ⁴ 277 ⁴ 347 ^{4,5} 480 ^{4,5}	Shipped included (blank) Surface mounting bracket Shipped separately⁶ BBW Surface-mounted back box (for conduit entry)	Shipped installed PE Photoelectric cell, button type ⁷ PER NEMA twist-lock receptacle only (control ordered separately) ⁸ PER5 Five-wire receptacle only (control ordered separately) ^{8,9} PER7 Seven-wire receptacle only (control ordered separately) ^{8,9} DMG 0-10v dimming wires pulled outside fixture (for use with an external control, ordered separately) PIR 180° motion/ambient light sensor, <15' mtg ht ^{10,11} PIRH 180° motion/ambient light sensor, 15-30' mtg ht ^{10,11} PIR1FC3V Motion/ambient sensor, 8-15' mounting height, ambient sensor enabled at 1fc ^{11,12} PIRH1FC3V Motion/ambient sensor, 15-30' mounting height, ambient sensor enabled at 1fc ^{11,12}

Other Options	Finish (required)
Shipped installed	
SF Single fuse (120, 277, 347V) ³	DDBXD Dark bronze
DF Double fuse (208, 240, 480V) ³	DBLXD Black
HS House-side shield ⁴	DNAXD Natural aluminum
SPD Separate surge protection ¹³	DWHXD White
Shipped separately¹³	
BSW Bird-deterrent spikes	DSSXD Sandstone
VG Vandal guard	DDBTXD Textured dark bronze
	DBLBXD Textured black
	DNATXD Textured natural aluminum
	DWHGXD Textured white
	DSSTXD Textured sandstone



Ordering Information

Accessories

Ordered and shipped separately.

DLL127F 1.5 JU	Photocell - SSL twist-lock (120-277V) ¹⁴
DLL347F 1.5 CUL JU	Photocell - SSL twist-lock (347V) ¹⁴
DLL480F 1.5 CUL JU	Photocell - SSL twist-lock (480V) ¹⁴
DSHORT SBK U	Shorting cap (Included when ordering PER, PERS or PER7) ¹⁴
DSXWHS U	House-side shield (one per light engine)
DSXWBSW U	Bird-deterrent spikes
DSXW2VG U	Vandal guard accessory
DSXW2BBW	Back box accessory
DBXD U	(specify finish)

For more control options, visit [DTL](#) and [ROAM](#) online.

NOTES

- 1000mA is not available with AMBPC.
- AMBPC is not available with 1000mA.
- MVOLT driver operates on any line voltage from 120-277V (50/60 Hz).
- Single fuse (SF) requires 120, 277 or 347 voltage option. Double fuse (DF) requires 208, 240 or 480 voltage option.
- Available with 30 LED/700mA options only (DSXW2 LED 30C 700). DMG option not available.
- Also available as a separate accessory; see Accessories information.
- Photocontrol (PE) requires 120, 208, 240, 277 or 347 voltage option. Not available with motion/ambient light sensors (PIR or PIRH).
- Photocell ordered and shipped as a separate line item from Acuity Brands Controls. See accessories. Shorting Cap included.
- If ROAM® node required, it must be ordered and shipped as a separate line item from Acuity Brands Controls. Shorting Cap included.
- Reference Motion Sensor table on page 3.
- Reference PER Table on page 3 for functionality.
- PIR and PIR1FC3V specify the [SensorSwitch SBGR-10-ODP](#) control; PIRH and PIRH1FC3V specify the [SensorSwitch SBGR-6-ODP](#) control; see [Motion Sensor Guide](#) for details. Dimming driver standard. Not available with PER5 or PER7. Separate on/off required.
- See the electrical section on page 2 for more details.
- Requires luminaire to be specified with PER option. Ordered and shipped as a separate line item. See PER Table.

Performance Data

Lumen Output

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08.

LEDs	Drive Current (mA)	System Watts	Dist. Type	30K					40K					50K					
				Lumens	B	U	G	LPW	Lumens	B	U	G	LPW	Lumens	B	U	G	LPW	
(20 LEDs)	350 mA	25W	T2S	2,783	1	0	1	111	2,989	1	0	1	120	3,008	1	0	1	120	
			T2M	2,709	1	0	1	108	2,908	1	0	1	116	2,926	1	0	1	117	
			T3S	2,748	1	0	1	110	2,951	1	0	1	118	2,969	1	0	1	119	
			T3M	2,793	1	0	1	112	2,999	1	0	1	120	3,018	1	0	1	121	
			T4M	2,756	1	0	1	110	2,959	1	0	1	118	2,977	1	0	1	119	
			TFTM	2,753	1	0	1	110	2,956	1	0	1	118	2,975	1	0	1	119	
		530 mA	36W	T2S	4,030	1	0	1	112	4,327	1	0	1	120	4,354	1	0	1	121
				T2M	3,920	1	0	1	109	4,210	1	0	1	117	4,236	1	0	1	118
				T3S	3,978	1	0	1	111	4,272	1	0	1	119	4,299	1	0	1	119
				T3M	4,044	1	0	2	112	4,343	1	0	2	121	4,370	1	0	2	121
	700 mA	47W	T4M	3,990	1	0	1	111	4,284	1	0	1	119	4,310	1	0	1	120	
			TFTM	3,987	1	0	1	111	4,281	1	0	1	119	4,308	1	0	1	120	
			T2S	5,130	1	0	1	109	5,509	1	0	1	117	5,544	1	0	1	118	
			T2M	4,991	1	0	2	106	5,360	1	0	2	114	5,393	1	0	2	115	
			T3S	5,066	1	0	1	108	5,440	1	0	1	116	5,474	1	0	1	116	
			T3M	5,148	1	0	2	110	5,529	1	0	2	118	5,563	1	0	2	118	
	1000 mA	73W	T4M	5,080	1	0	2	108	5,455	1	0	2	116	5,488	1	0	2	117	
			TFTM	5,075	1	0	2	108	5,450	1	0	2	116	5,484	1	0	2	117	
			T2S	7,147	2	0	2	98	7,675	2	0	2	105	7,723	1	0	1	104	
			T2M	6,954	2	0	2	95	7,467	2	0	2	102	7,514	2	0	2	103	
			T3S	7,057	1	0	2	97	7,579	1	0	2	104	7,627	1	0	2	104	
			T3M	7,172	2	0	3	98	7,702	2	0	3	106	7,751	2	0	3	106	
	(30 LEDs)	350 mA	36W	T4M	7,076	1	0	2	97	7,599	1	0	2	104	7,646	1	0	2	105
				TFTM	7,071	1	0	2	97	7,594	1	0	2	104	7,641	1	0	2	105
T2S				4,160	1	0	1	116	4,467	1	0	1	124	4,494	1	0	1	125	
T2M				4,048	1	0	1	112	4,346	1	0	2	121	4,373	1	0	2	121	
T3S				4,108	1	0	1	114	4,411	1	0	1	123	4,438	1	0	1	123	
T3M				4,174	1	0	2	116	4,483	1	0	2	125	4,510	1	0	2	125	
530 mA			54W	T4M	4,119	1	0	1	114	4,423	1	0	2	123	4,450	1	0	2	124
				TFTM	4,115	1	0	1	114	4,419	1	0	1	123	4,446	1	0	1	124
				T2S	6,001	1	0	1	111	6,444	1	0	1	119	6,484	1	0	1	120
				T2M	5,838	1	0	2	108	6,270	2	0	2	116	6,308	2	0	2	117
700 mA		71W	T3S	5,926	1	0	2	110	6,364	1	0	2	118	6,403	1	0	2	119	
			T3M	6,023	1	0	2	112	6,467	1	0	2	120	6,507	1	0	2	121	
			T4M	5,942	1	0	2	110	6,380	1	0	2	118	6,420	1	0	2	119	
			TFTM	5,937	1	0	2	110	6,376	1	0	2	118	6,415	1	0	2	119	
			T2S	7,403	2	0	2	104	8,170	2	0	2	115	8,221	2	0	2	116	
			T2M	7,609	2	0	2	107	7,949	2	0	2	112	7,998	2	0	2	113	
1000 mA		109W	T3S	7,513	1	0	2	106	8,068	1	0	2	114	8,118	1	0	2	114	
			T3M	7,635	2	0	3	108	8,199	2	0	3	115	8,250	2	0	3	116	
			T4M	7,534	1	0	2	106	8,089	1	0	2	114	8,140	1	0	2	115	
			TFTM	7,527	1	0	2	106	8,082	2	0	2	114	8,134	2	0	2	115	
			T2S	10,468	2	0	2	96	11,241	2	0	2	103	11,311	2	0	2	104	
			T2M	10,184	2	0	3	93	10,936	2	0	3	100	11,005	2	0	3	101	
			T3S	10,335	2	0	2	95	11,099	2	0	2	102	11,169	2	0	2	102	
			T3M	10,505	2	0	3	96	11,280	2	0	3	103	11,351	2	0	3	104	
T4M	10,365	2	0	2	95	11,129	2	0	2	102	11,198	2	0	2	103				
TFTM	10,356	2	0	2	95	11,121	2	0	3	102	11,190	2	0	3	103				

Note: Available with phosphor-converted amber LED's (nomenclature AMBPC). These LED's produce light with 97+% >530 nm. Output can be calculated by applying a 0.7 factor to 4000 K lumen values and photometric files.



Performance Data

Lumen Ambient Temperature (LAT) Multipliers

Use these factors to determine relative lumen output for average ambient temperatures from 0-40°C (32-104°F).

Ambient		Lumen Multiplier
0°C	32°F	1.02
10°C	50°F	1.01
20°C	68°F	1.00
25°C	77°F	1.00
30°C	86°F	1.00
40°C	104°F	0.98

Electrical Load

LEDs	Drive Current (mA)	System Watts	Current (A)					
			120V	208V	240V	277V	347V	480V
20C	350	25 W	0.23	0.13	0.12	0.10	-	-
	530	36 W	0.33	0.19	0.17	0.14	-	-
	700	47 W	0.44	0.25	0.22	0.19	-	-
	1000	74 W	0.68	0.39	0.34	0.29	-	-
30C	350	36 W	0.33	0.19	0.17	0.14	-	-
	530	54 W	0.50	0.29	0.25	0.22	-	-
	700	71 W	0.66	0.38	0.33	0.28	0.23	0.16
	1000	109 W	1.01	0.58	0.50	0.44	-	-

Projected LED Lumen Maintenance

Data references the extrapolated performance projections for the **DSXW2 LED 30C 1000** platform in a **25°C ambient**, based on 10,000 hours of LED testing (tested per IESNA LM-80-08 and projected per IESNA TM-21-11).

To calculate LLF, use the lumen maintenance factor that corresponds to the desired number of operating hours below. For other lumen maintenance values, contact factory.

Operating Hours	0	25,000	50,000	100,000
Lumen Maintenance Factor	1.0	0.95	0.92	0.87

Motion Sensor Default Settings

Option	Dimmed State	High Level (when triggered)	Photocell Operation	Dwell Time	Ramp-up Time	Ramp-down Time
PIR or PIRH	3V (37%) Output	10V (100%) Output	Enabled @ 5FC	5 min	3 sec	5 min
*PIR1FC3V or PIRH1FC3V	3V (37%) Output	10V (100%) Output	Enabled @ 1FC	5 min	3 sec	5 min

*For use when motion sensor is used as dusk to dawn control

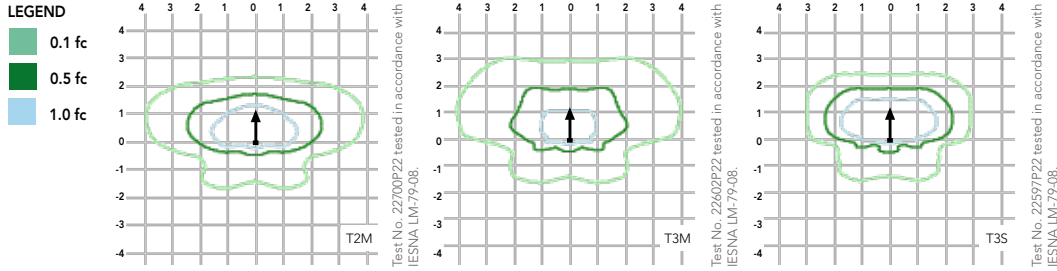
PER Table

Control	PER (3 wire)	PER5 (5 wire)		PER7 (7 wire)		
			Wire 4/Wire5		Wire 4/Wire5	Wire 6/Wire7
Photocontrol Only (On/Off)	✓	⚠	Wired to dimming leads on driver	⚠	Wired to dimming leads on driver	Wires Capped inside fixture
ROAM	⊘	✓	Wired to dimming leads on driver	⚠	Wired to dimming leads on driver	Wires Capped inside fixture
ROAM with Motion	⊘	⚠	Wired to dimming leads on driver	⚠	Wired to dimming leads on driver	Wires Capped inside fixture
Futureproof*	⊘	⚠	Wired to dimming leads on driver	✓	Wired to dimming leads on driver	Wires Capped inside fixture
Futureproof* with Motion	⊘	⚠	Wired to dimming leads on driver	✓	Wired to dimming leads on driver	Wires Capped inside fixture

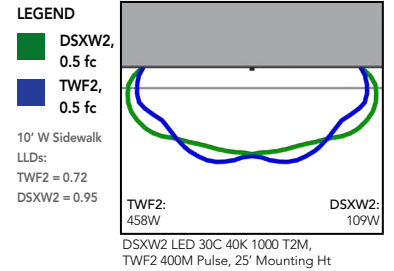
- ✓ Recommended
- ⊘ Will not work
- ⚠ Alternate

*Futureproof means: Ability to change controls in the future.

Isofootcandle plots for the DSXW2 LED 30C 1000 40K. Distances are in units of mounting height (25').



Distribution overlay comparison to 400W metal halide.



FEATURES & SPECIFICATIONS

INTENDED USE

The energy savings, long life and easy-to-install design of the D-Series Wall Size 2 make it the smart choice for building-mounted doorway and pathway illumination for nearly any facility.

CONSTRUCTION

Two-piece die-cast aluminum housing has integral heat sink fins to optimize thermal management through conductive and convective cooling. Modular design allows for ease of maintenance. The LED driver is mounted to the door to thermally isolate it from the light engines for low operating temperature and long life. Housing is completely sealed against moisture and environmental contaminants (IP65).

FINISH

Exterior parts are protected by a zinc-infused Super Durable TGIC thermoset powder coat finish that provides superior resistance to corrosion and weathering. A tightly controlled multi-stage process ensures a minimum 3 mils thickness for a finish that can withstand extreme climate changes without cracking or peeling. Available in textured and non-textured finishes.

OPTICS

Precision-molded proprietary acrylic lenses provide multiple photometric distributions tailored specifically to building mounted applications. Light engines are available in 3000 K (70 min. CRI), 4000 K (70 min. CRI) or 5000 K (70 min. CRI) configurations.

ELECTRICAL

Light engine(s) consist of 10 high-efficacy LEDs mounted to a metal-core circuit board to maximize heat dissipation and promote long life (L87/100,000 hrs at 25°C). Class 1 electronic drivers have a power factor >90%, THD <20%, and a minimum 2.5KV surge rating. When ordering the SPD option, a separate surge protection device is installed within the luminaire which meets a minimum Category C Low (per ANSI/IEEE C62.41.2).

INSTALLATION

Included universal mounting bracket attaches securely to any 4" round or square outlet box for quick and easy installation. Luminaire has a slotted gasket wireway and attaches to the mounting bracket via corrosion-resistant screws.

LISTINGS

CSA certified to U.S. and Canadian standards. Rated for -40°C minimum ambient.

BUY AMERICAN ACT

This product is assembled in the USA and meets the Buy America(n) government procurement requirements under FAR, DFARS and DOT regulations. Please refer to www.acuitybrands.com/resources/buy-american for additional information.

WARRANTY

Five-year limited warranty. This is the only warranty provided and no other statements in this specification sheet create any warranty of any kind. All other express and implied warranties are disclaimed. Complete warranty terms located at www.acuitybrands.com/support/warranty/terms-and-conditions

Note: Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25 °C. Specifications subject to change without notice.



Fixture Type	Date
Job Name	Approved By
Catalog Number	

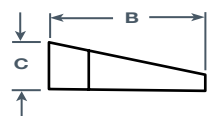
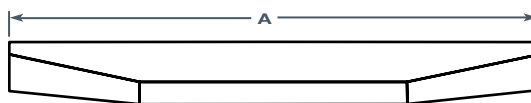


SPECIFICATIONS

Description	The Blade BLD combines a sleek, patent pending design shaped with high performance, full cut off optics to achieve unobtrusive illumination of a space or path of egress. When mounted over a doorway or mullion, the fixture is perceived as an element of the building structure, and, additionally, provides water protection in the form of a drip cap over the entranceway. Multiple lengths are available to match a given door opening and our quick-mount system facilitates installation and maintenance.
Housing	Marine grade heat treated extruded aluminum. Chemically primed and finished with robotically applied polyester powder coat.
Wall Mount	Marine grade heat treated extruded aluminum. Chemically primed and finished with robotically applied polyester powder coat. Designed to provide quick mounting to housing and secured with (2) captive stainless steel TORX® head screws.
Lens Frame	Marine grade heat treated extruded aluminum. Secured to fixture (4) captive stainless steel TORX® head screws.
Lens	Extruded UV stabilized opal polycarbonate with integral prisms. Maximum wall thickness 0.160". Secured to housing with die cast aluminum clamps and stainless steel TORX® head screws.
End Plate	Die-cast marine grade aluminum. Chemically primed and finished with robotically applied polyester powder coat.
Drivers	Dimming to 1%, 10% or Programable Lumen Output driver options. Non-Dimming Driver is also available.
LED	Samsung LM561B+ series @ 2700K, 3000K, 3500K, 4000K, or 5000K and 82 CRI wired in parallel-series. L70 projected life of over 130,000 hours at 50°C.
Gaskets	Closed cell self-adhesive neoprene to provide watertight seal between fixture and mounting surface.
UL Listing	U.L., C.U.L. Wet Location Listing standard.
Buy American Act	Luminaire LED, LLC products are assembled in the USA. Our products meet the Buy America(n) government procurement requirements under FAR, DFARS, and DOT regulations. Please refer to www.acuitybrands.com/buy-american for additional information.
Warranty	Lifetime warranty, Luminaire LED incorporated will repair or replace any fixture damaged due to vandalism for the lifetime of the installation. 10-year warranty on LED boards against operational defects. Tested in accordance with LM-80. This is the only warranty provided and no other statements in this specification sheet create any warranty of any kind. All other express and implied warranties are disclaimed.
Note	Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25 °C. The product images shown are for illustration purposes only and may not be an exact representation of the product. Specifications subject to change without notice.

DIMENSIONAL DATA

	A	B	C
BLD12	20.0"	5.6"	2.4"
BLD24	30.8"	5.6"	2.4"
BLD36	41.6"	5.6"	2.4"
BLD48	52.4"	5.6"	2.4"
BLD72	74.0"	5.6"	2.4"



ORDERING INFORMATION

Example: BLD 48IN MIN1 35W 27K 120 CLP WHT

Series*	Size (Nominal)* ¹	Drivers*	Dual Drivers	Wattage (Nominal) ¹	Lumens (For PRD Only)	
BLD Mullion Mountable Vandal Resistant Full Cut-off Path of Egress Luminaire	12IN ^{2,3}	MIN1 Dimming to 1%	2DRV ^{9,10} Two LED drivers for independent LED board operations.	5W 20W 55W	200LM - 6300LM - Lumens available in 100LM increments <i>Lumens required if PRD driver chosen</i>	
	24IN ^{4,5,6}	MIN10 Dimming to 10%		10W 30W		
	36IN ⁷	NODIM Non-Dimming Driver		15W 35W		
	48IN ⁸	PRD Driver Programmed to Specific Lumen Output Consult Factory		<i>Required for all drivers except PRD driver</i>		
	72IN	<i>PRD not available with Wattage PRD standard 0-10V dimming to 1%</i>				

CCT*	Voltage*	Lens*	Finish*	
27K 2700K	120 120 Volt	DP Diffused Polycarbonate	BLK Black	
30K 3000K	277 277 Volt		WHT White	
35K 3500K	MVOLT 120-277 Volt		BRZ Bronze	
40K 4000K	347 ^{9,11,12} 347 Volt		GRY Gray	
50K 5000K			SIL Silver	
			CUST Custom Color, Consult Factory	
			RALTB Ral Paint finishes	
			<i>RALTB for pricing only. Replace with applicable RAL call out when ready to order. See the RAL BROCHURE for available options</i>	

BY ARCHITECT

*Required

OPTIONS

Emergency ¹³			
EMB310	Self contained, 90 minute emergency battery pack. 0°C (32°F) to 55°C (131°F). 1000 lumens	EMB20R ^{15,16}	Remote mounted micro inverter that will operate a 25W maximum load for 90 min. 0°C (32°F) to 45°C (113°F)
EMB310ST	Self-testing, self contained, 90 minute emergency battery pack. 0°C (32°F) to 55°C (131°F) Meets CA Title 20 Standards. 1000 lumens	EMB125R ¹⁶	Remote inverter that will operate a maximum 125W load for 90 min. 20°C (68°F) to 30°C (86°F)
EMB310T20	Self contained, 90 minute emergency battery pack. 0°C (32°F) to 55°C (131°F). Meets CA Title 20 standards. 1000 lumens	EMB250R ¹⁶	Remote inverter that will operate a 250W maximum load for 90 min. 20°C (68°F) to 30°C (86°F)
EMB10ST	Self-testing, self contained, 90 minute emergency battery pack. 0°C (32°F) to 55°C (131°F) Meets CA Title 20 Standards. 1000 lumens		
EMBDA ^{14,19}	Two drivers and two emergency battery packs self-contained within fixture for independent light engine operation. Each battery pack will operate each light engine for a minimum of 90 minutes		

Knockout	Fusing	Photocell	Sensors	Hardware
K02 Optional mouse hole in both end caps for accessing 1/2" knockout	GLR ¹⁷ Fuse and Fuse Holder	PC ^{11,17} Photoelectric Switch	PIR ¹⁸ Passive Infrared Occupancy Sensor/Daylight Harvesting Photocell. Maximum coverage 10' radius from 8' height. PIR50 ^{9,18,19} Passive Infrared Occupancy Sensor/Daylight Harvesting Photocell. Maximum coverage 10' radius from 8' height. 50% of LED's constantly on and 50% sensed on/off <i>RCHRC required for Field Adjustable Settings</i>	PHSC Phillips Head instead of TORX® head

Ordering Notes

- See Size and Wattage Chart
- Not available with EMB10ST, EMB310, EMB310ST, or EMB310T20
- 12IN with MIN1 or PRD; Not available with PIR
- Not available with MIN1 or PRD and EMB10ST, EMB310, EMB310ST, or EMB310T20
- Not available with 2DRV and PIR or PIR50
- Not available with PIR or PIR50 and EMB10ST, EMB310, EMB310ST, or EMB310T20
- 36IN with MIN1 or PRD; Not available with 2DRV and EMB10ST, EMB310, EMB310ST, EMB310T20
- 48IN with MIN1 or PRD; Not available with 2DRV and PIR or PIR50 and EMB10ST, EMB310, EMB310ST, or EMB310T20
- Not available with 12IN
- 24IN with 2DRV; Not available with EMB10ST, EMB310, EMB310ST, or EMB310T20
- Not available with PIR or PIR50
- Not available in 24IN with 2DRV
- Not available with 347
- Only available in 72IN
- Not available with Wattage or 25W or PRD
- Not available with MVOLT
- Not available with MVOLT or 347
- Not available with EMB20R, EMB125R, EMB250R
- Must include 2DRV

Accessories: Order as separate catalog number.

TXSD	TORX® Screwdriver Bit <i>Initial shipment includes one (1) TXSD per fixture</i>
RCHRC	Remote Control for Field Adjustable Sensor Settings <i>One (1) RCHRC per Job for PIR/PIR50 Sensor. Optional</i>

SIZE & WATTAGE CHART

Size	Wattage
12IN	5W 10W
24IN	10W 20W
36IN	15W 30W
48IN	20W 35W
72IN	30W 55W

SIZE & LUMEN CHART (For PRD)

Size	Lumen Range
12IN	200LM - 1000LM
24IN	400LM - 2100LM
36IN	600LM - 3100LM
48IN	800LM - 4100LM
72IN	1200LM - 6300LM

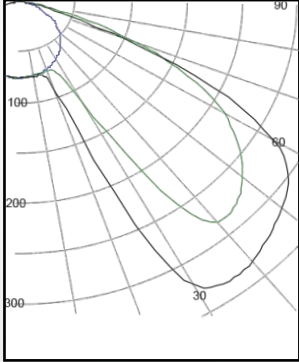
PHOTOMETRIC DATA

Model	Watts	Input Watts	Delivered Lumens				
			2700K	3000K	3500K	4000K	5000K
BLD 12IN	5W	6.5W	447	452	461	476	490
BLD 12IN	10W	11.8W	875	885	903	931	958
BLD 24IN	10W	10.6W	962	973	993	1024	1055
BLD 24IN	20W	21.3W	1885	1907	1946	2006	2066
BLD 36IN	15W	14.7W	1444	1461	1491	1537	1583
BLD 36IN	30W	29.6W	2828	2860	2919	3009	3099
BLD 48IN	20W	19.6W	1926	1948	1987	2049	2111
BLD 48IN	35W	36.4W	3770	3812	3890	4011	4132
BLD 72IN	30W	29.4W	2969	3003	3064	3159	3254
BLD 72IN	55W	57.1W	5789	5855	5974	6184	6345
BLD xxIN	PRD		Programmable Driver. Must Specify Lumens in Ordering Information, see Chart above.				

PHOTOMETRIC DATA

MODEL: BLD 12IN 5W 40K

Delivered Lumens: 476 Lumens



IES FILE: BLD 12IN 5W 40K

Total Power: 7W

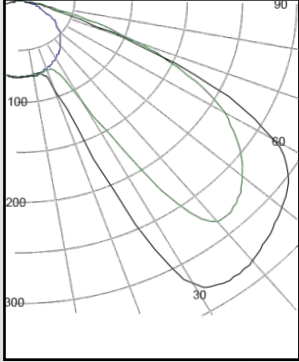
Testing was performed in accordance with IES LM-79-08

Bug Rating: B0U0G1

Zone	Lumens	% Luminaire
0 - 30	69	14.5
0 - 40	149	31.1
0 - 60	359	75.5
60 - 90	117	24.5
0 - 90	476	100.0
90 -180	0	0.0
0 - 180	476	100.0

MODEL: BLD 36IN 15W 40K

Delivered Lumens: 1537 Lumens



IES FILE: BLD 36IN 15W 40K

Total Power: 14.7W

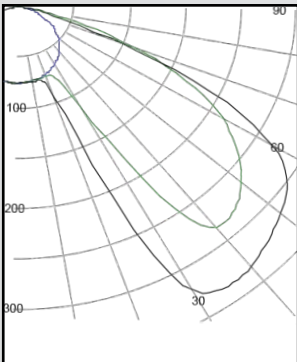
Testing was performed in accordance with IES LM-79-08

Bug Rating: B0U0G1

Zone	Lumens	% Luminaire
0 - 30	377	124.5
0 - 40	640	41.6
0 - 60	1219	79.3
60 - 90	317	20.7
0 - 90	1537	100.0
90 -180	0	0.0
0 - 180	1537	100.0

MODEL: BLD 36IN 30W 40K

Delivered Lumens: 3009 Lumens



IES FILE: BLD 36IN 30W 40K

Total Power: 29.6W

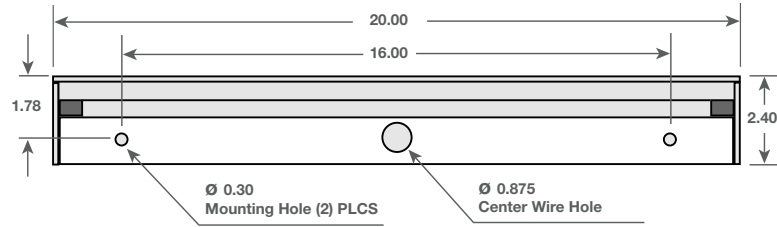
Testing was performed in accordance with IES LM-79-08

Bug Rating: B1U0G1

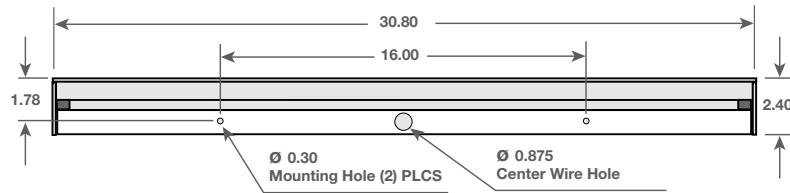
Zone	Lumens	% Luminaire
0 - 30	739	24.6
0 - 40	1253	41.6
0 - 60	2387	79.3
60 - 90	622	20.7
0 - 90	3009	100.0
90 -180	0	0.0
0 - 180	3009	100.0

MOUNTING PLATE DETAILS

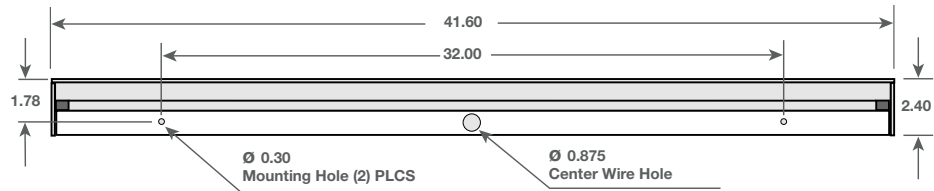
BLD12



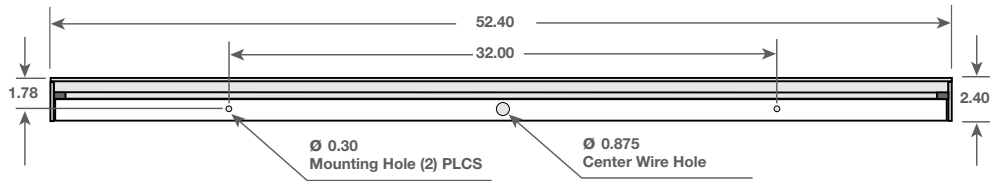
BLD24



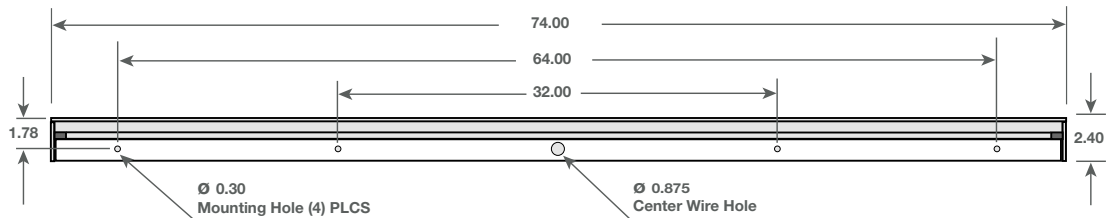
BLD36



BLD48



BLD72



Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Number Lamps	Lumens Per Lamp	Light Loss Factor	Wattage
[Symbol]	H1	2	Lithonia Lighting	WDGE1 LED P0 40K 80CRI VW	WDGE1 LED WITH P0 - PERFORMANCE PACKAGE, 4000K, 80CRI, VISUAL COMFORT WIDE OPTIC	1	760	0.9	6.7947
[Symbol]	H2	13	Lithonia Lighting	WDGE2 LED P2 40K 80CRI T3M	WDGE2 LED WITH P2 - PERFORMANCE PACKAGE, 4000K, 80CRI, TYPE 3 MEDIUM OPTIC	1	2062	0.9	18.9815
[Symbol]	H4	9	Lithonia Lighting	DSXW2 LED 20C 1000 40K TFTM MVOLT	DSXW2 LED WITH 2 LIGHT ENGINES, 20 LED's, 1000mA DRIVER, 4000K LED, TYPE FORWARD THROW MEDIUM OPTIC	1	7593	0.9	73
[Symbol]	H5	1	Luminaire LED	BLD 36IN 15W 40K DP	Catalog Number: BLD36-15W 4000K2 Surface wall mounted, extruded and cast aluminum housing, formed white enamel aluminum reflector, clear lightly frosted plastic enclosure, 108 white LEDs, three Luminaire LED MP-LED-AMC2 Rev 3.0C boards with 36 LEDs per board, One ULT Everline D700CC30UNVW-C LED driver labeled as 470mA, 120.0Vvac, 60.00Hz, 0.1316A, 14.68W, 0.929PF, 11.6%THD(I)	1	1537	0.9	14.7

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Outside Property Boundary		0.0 fc	0.4 fc	0.0 fc	N/A	N/A
SITE-UTILITY PROPERTY ?		0.1 fc	1.1 fc	0.0 fc	N/A	N/A
SITE-VILLAGE OF KIMBERLY PROPERTY		1.1 fc	7.7 fc	0.0 fc	N/A	N/A

SITE - UTILITY PROPERTY ?

SITE - VILLAGE OF KIMBERLY PROPERTY

NEW MUNICIPAL SERVICE CENTER

THE LIGHT EMITTED FROM THE EXISTING FIXTURE LOCATED ON THE SALT STORAGE GARAGE IS A CALCULATED ESTIMATE

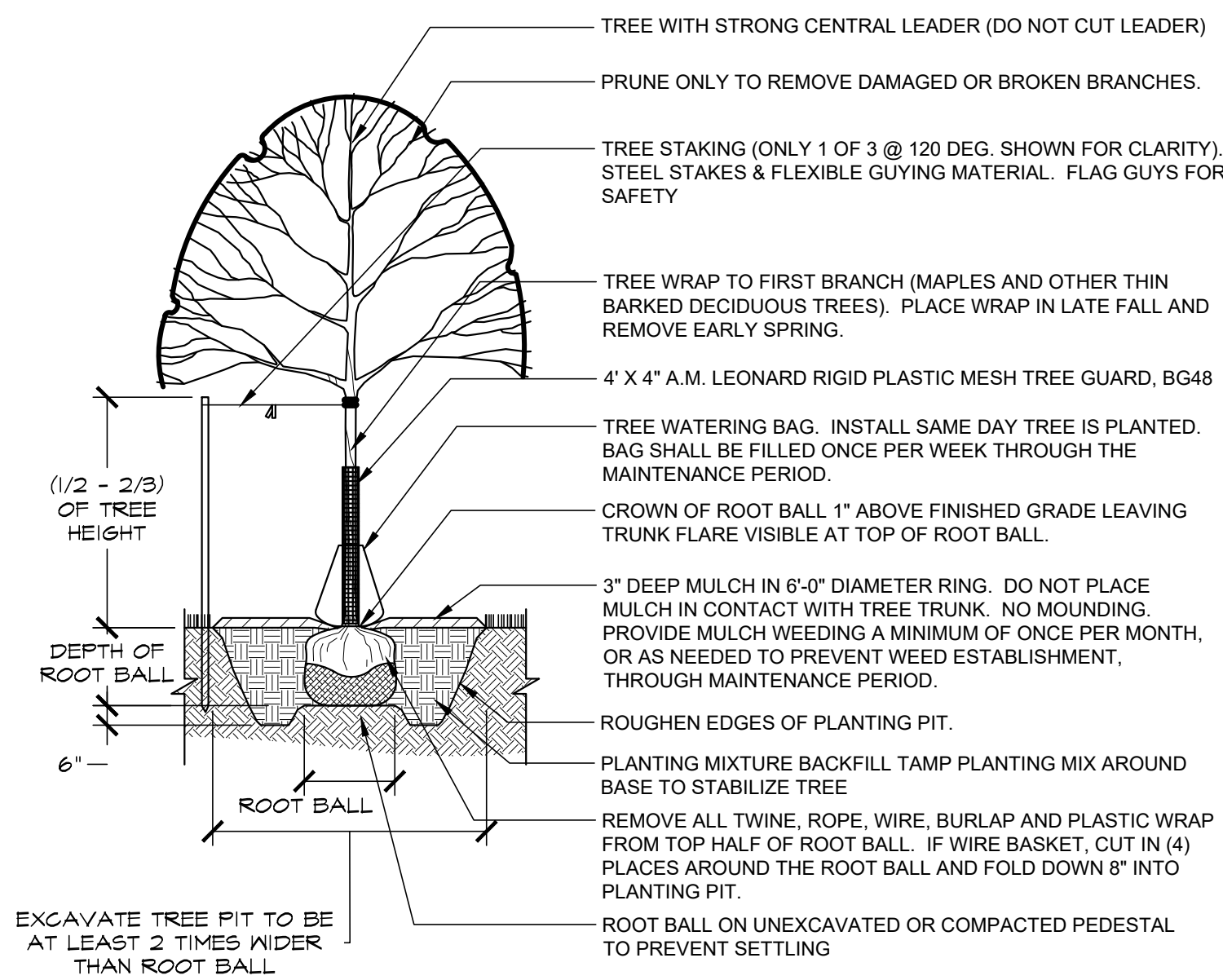
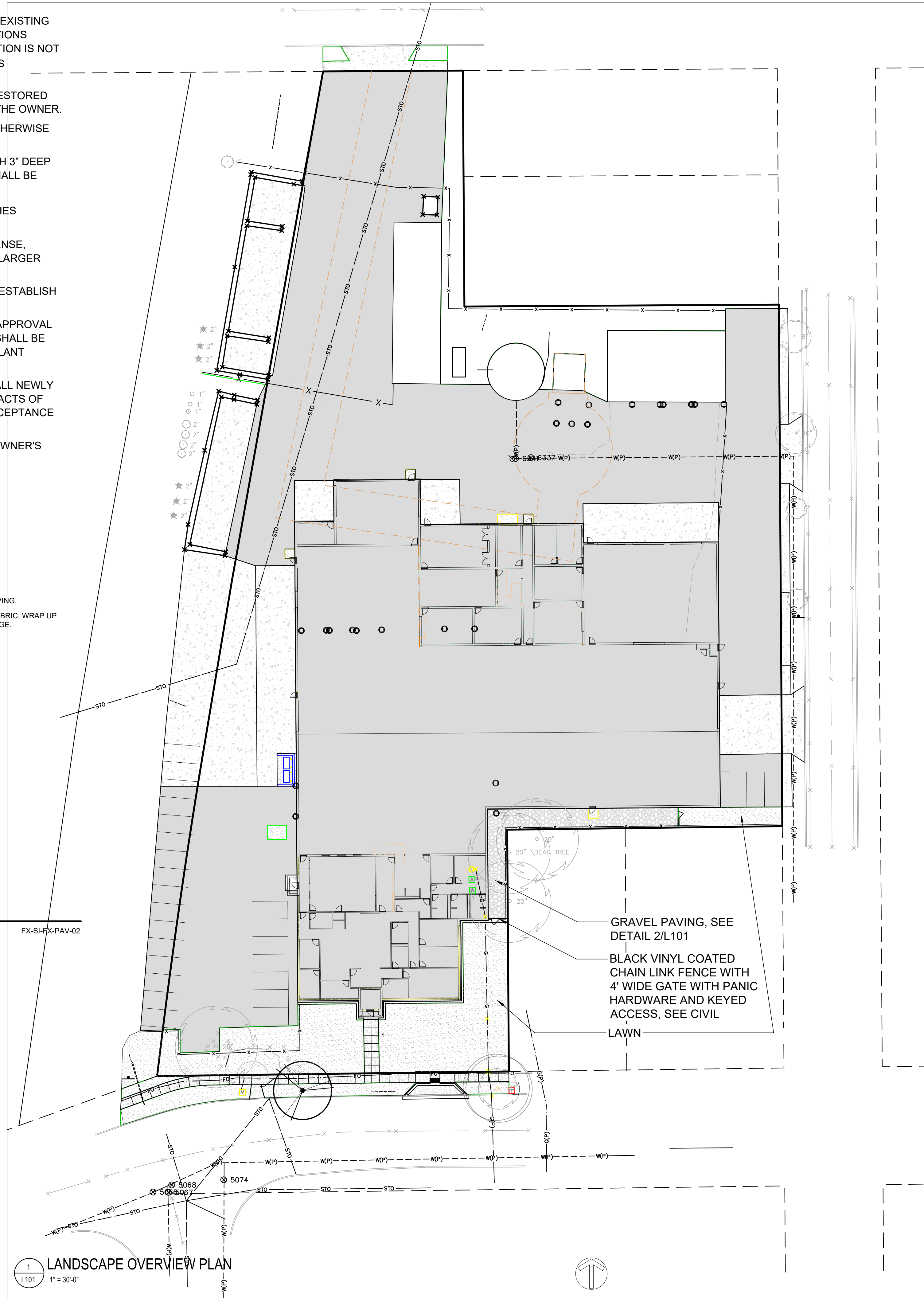
THE LIGHT EMITTED FROM THE EXISTING FIXTURES LOCATED ON THE GARAGE IS A CALCULATED ESTIMATE

Plan View
 Scale - 1" = 20'

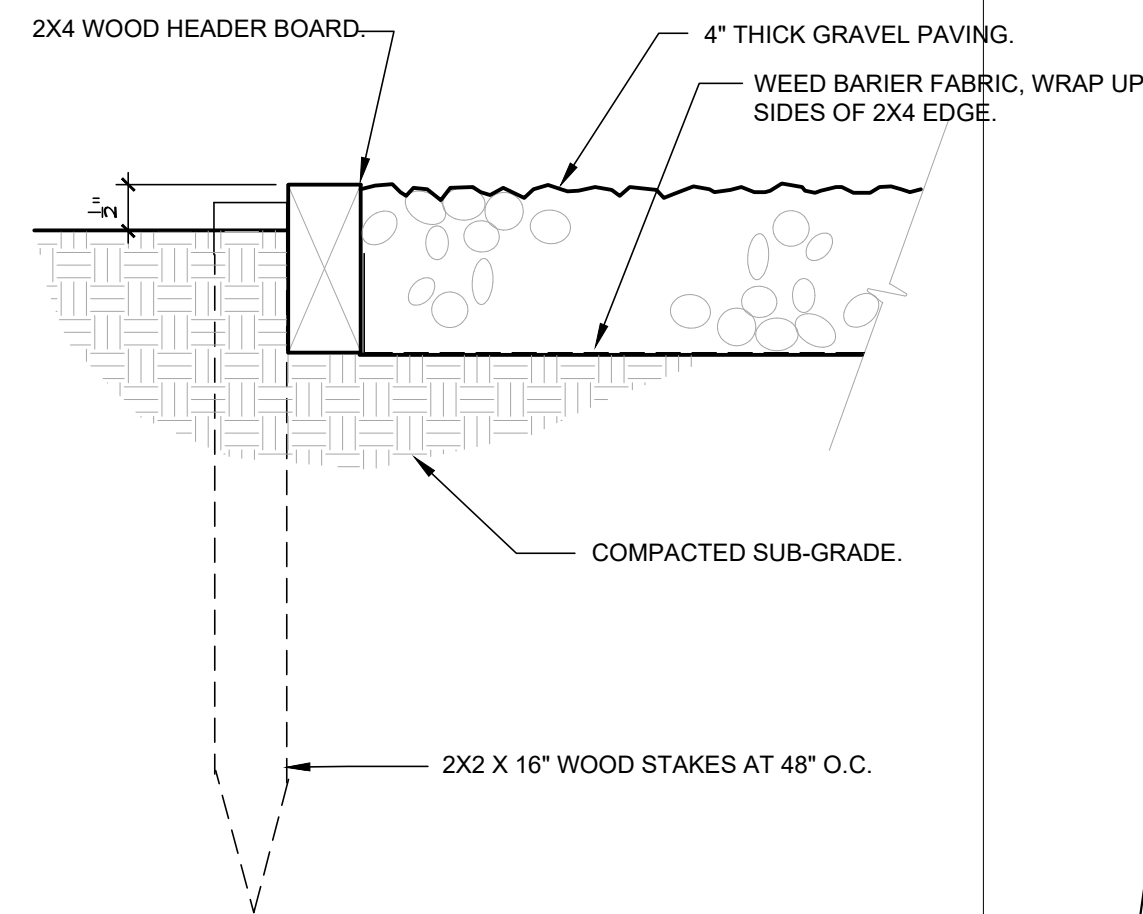
PLANTING NOTES

- EXISTING TREES FOUND ON SITE SHALL BE PROTECTED AND SAVED UNLESS NOTED TO BE REMOVED OR ARE LOCATED IN AN AREA TO BE GRADED. QUESTIONS REGARDING EXISTING PLANT MATERIAL SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO REMOVAL.
- THE LAYOUT OF ALL PLANTING BEDS AND INDIVIDUAL TREES SHALL BE STAKED BY THE CONTRACTOR IN ADVANCE OF INSTALLATION. FLAGGING, STAKES, OR PAINT MAY BE USED TO DELINEATE LOCATIONS AS SCALED FROM THE PLANS. THE LANDSCAPE ARCHITECT WILL REVIEW THESE LOCATIONS WITH THE CONTRACTOR AND MAKE MINOR ADJUSTMENTS AS NECESSARY. BED LAYOUT SHALL ALSO INCLUDE PERENNIAL GROUPINGS BY SPECIES.
- THE CONTRACTOR IS RESPONSIBLE FOR INDEPENDENTLY DETERMINING THE PLANT MATERIAL QUANTITIES REQUIRED BY THE LANDSCAPE PLANS. REPORT ANY DISCREPANCIES TO THE LANDSCAPE ARCHITECT.
- SALVAGE TOPSOIL FROM THE EARTHWORK AREAS AS APPROPRIATE AND/OR AS DIRECTED BY LANDSCAPE ARCHITECT AND STOCKPILE FOR REUSE IN LOCATION APPROVED BY OWNER.
- AREAS UNDER PLANTING BEDS AND LAWNS SHALL NOT CONTAIN COMPACTED AGGREGATE TO ALLOW FOR PROPER DRAINAGE AND GROWTH OF PLANT MATERIAL. REMOVE AGGREGATE AND PERFORM SUBSOILING AS NECESSARY TO OBTAIN LOOSE, FREE DRAINING SUBGRADE BELOW PLANTING BEDS. UNDESIRABLE CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO BEGINNING OF WORK. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ENSURE PROPER SURFACE AND SUBSURFACE DRAINAGE IN ALL AREAS.
- CONTRACTOR SHALL ENSURE THAT SOIL CONDITIONS AND COMPACTION ARE ADEQUATE TO ALLOW FOR PROPER DRAINAGE AROUND THE CONSTRUCTION SITE. UNDESIRABLE CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO BEGINNING OF WORK. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ENSURE PROPER SURFACE AND SUBSURFACE DRAINAGE IN ALL AREAS.
- ALL SEED & SOD AREAS SHALL RECEIVE A MINIMUM OF 6" DEPTH OF TOPSOIL.
- SEED AND PLUG PLANTING SHALL OCCUR IN DESIGNATED PLANTING WINDOWS, SEE SPECIFICATIONS.

- PAINT OR STAKE LIMITS OF SEEDING FOR REVIEW BY LANDSCAPE ARCHITECT & OWNER PRIOR TO SEEDING.
- NEW SEEDED AREAS TO BE TREATED WITH HERBICIDE TO KILL ALL EXISTING GROUND COVER. THERE SHALL BE A MINIMUM OF TWO (2) APPLICATIONS SEPARATED BY 10 DAYS. IF ALL EXISTING GROUND COVER VEGETATION IS NOT KILLED WITHIN 10 DAYS OF 2ND APPLICATION, A 3RD APPLICATION IS REQUIRED.
- ALL DISTURBED AREAS OUTSIDE THE LIMITS OF WORK SHALL BE RESTORED TO ORIGINAL OR BETTER CONDITION AT NO ADDITIONAL COST TO THE OWNER.
- ALL PLANTING BEDS SHALL HAVE A SHOVEL CUT EDGE, UNLESS OTHERWISE SPECIFIED.
- ALL PLANTING BEDS AND PLANTED TREES SHALL BE MULCHED WITH 3" DEEP SHREDDED HARDWOOD MULCH PER PLANTING DETAILS. MULCH SHALL BE CONSIDERED INCIDENTAL TO PLANT MATERIALS.
- GRAVEL PAVING AREA TO BE 4" THICK, 1 1/2 INCHES MAXIMUM, 3/4 INCHES MINIMUM, ROUNDED RIVERBED GRAVEL.
- LAWN SEED SHALL BE ESTABLISHED BY THE CONTRACTOR TO A DENSE, GREEN CONSISTENT LAWN VOID OF ANY BARE OR PATCHY AREAS LARGER THAN 3' X 3'.
- SEED PRIOR TO OCT. 15. IF SEEDED AFTER OCT. 15, MAINTAIN AND ESTABLISH LAWN UNTIL SPRING REVIEW.
- NO PLANT MATERIAL SUBSTITUTIONS WILL BE ACCEPTED UNLESS APPROVAL BY THE LANDSCAPE ARCHITECT. ALL PLANT MATERIAL AND SEED SHALL BE PROVIDED FROM A NURSERY (WITHIN 200 MILES) WITH A SIMILAR PLANT HARDINESS ZONE AS PROJECT LOCATION.
- CONTRACTOR IS RESPONSIBLE FOR ON-GOING MAINTENANCE OF ALL NEWLY INSTALLED MATERIALS UNTIL TIME OF OWNER ACCEPTANCE. ANY ACTS OF VANDALISM OR DAMAGE WHICH MAY OCCUR PRIOR TO OWNER ACCEPTANCE SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- SEE SPECIFICATIONS FOR MAINTENANCE REQUIREMENTS AFTER OWNER'S ACCEPTANCE.



1 TREE PLANTING
1/4" = 1'-0"



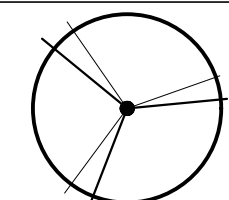
2 EDGE AT GRAVEL PAVING
3" = 1'-0"

1 LANDSCAPE OVERVIEW PLAN
1" = 30'-0"

PLANT_SCHEDULE

SYMBOL	CODE	BOTANICAL / COMMON NAME	SIZE	QTY
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DECIDUOUS TREES



CEL OCC		CELTIS OCCIDENTALIS / COMMON HACKBERRY	2" CAL	1
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SYMBOL

BOTANICAL / COMMON NAME

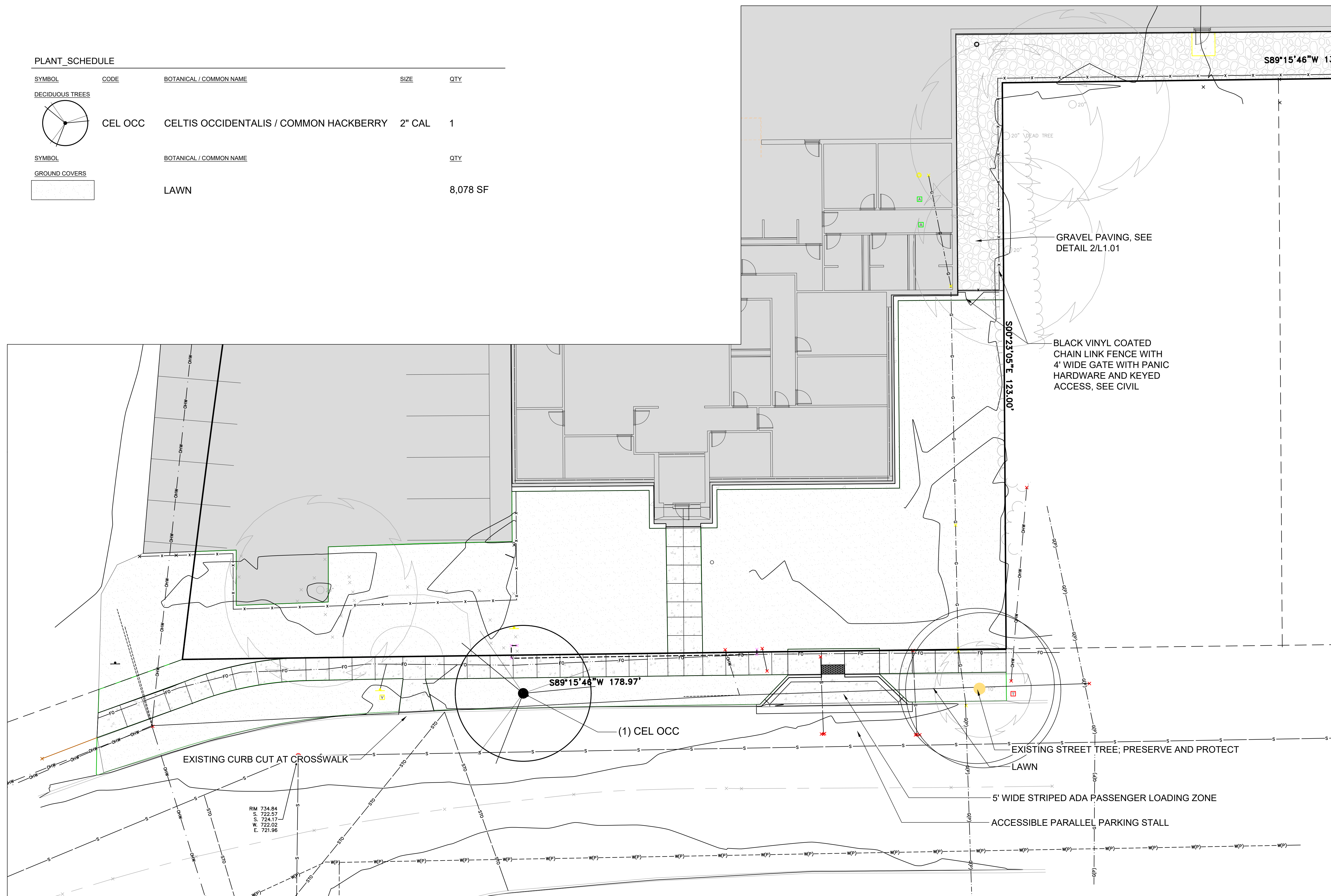
QTY

GROUND COVERS

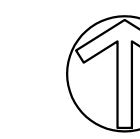


LAWN

8,078 SF



1 LANDSCAPE BLOW UP PLAN
L102 1" = 10'-0"



Glazing:
Olde Castle
1/4" Solarban
100VT
Color: Bronze TP-
#2

Composite metal
panel:
Alfred
Color: Charcoal

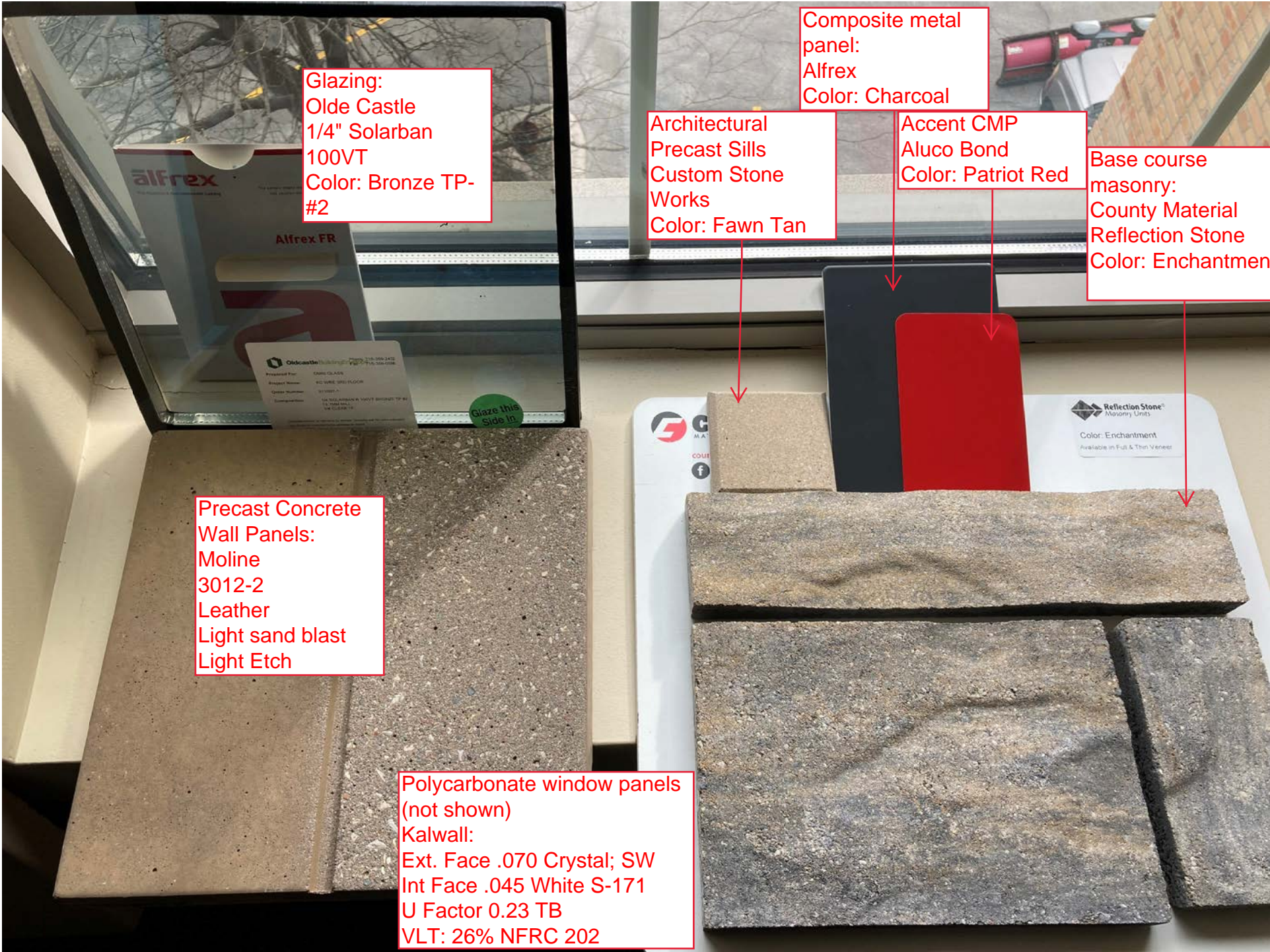
Architectural
Precast Sills
Custom Stone
Works
Color: Fawn Tan

Accent CMP
Aluco Bond
Color: Patriot Red

Base course
masonry:
County Material
Reflection Stone
Color: Enchantment

Precast Concrete
Wall Panels:
Moline
3012-2
Leather
Light sand blast
Light Etch

Polycarbonate window panels
(not shown)
Kalwall:
Ext. Face .070 Crystal; SW
Int Face .045 White S-171
U Factor 0.23 TB
VLT: 26% NFRC 202









Village of Kimberly REQUEST FOR BOARD CONSIDERATION

ITEM DESCRIPTION: Blue at the Trails Town Homes and Single Family Homes Site Plan

REPORT PREPARED BY: Greg Ulman, Director of Public Works/Zoning Administrator

REPORT DATE: January 22, 2024

ADMINISTRATOR'S REVIEW / COMMENTS:

No additional comments to this report MEM

See additional comments attached _____

EXPLANATION:

In the Planned Unit Development at The Blue Development, the developer has put together unique and visually appealing plans for the town homes as well as the 2-story single family homes. The 2-story homes will be placed along N. Wilson St. as well as 3 other locations inside the development, there will be two unique plans. The rest of the structures, minus the condo complexes, will be a mix of the town homes from 3 different plans. The attached map shows where each design will be placed.

On 1/16/2024 the site plans were brought forth in front of the Plan Commission; discussion was had on where the mailboxes will be placed, where the garbage will be placed for the 4-unit complexes, and to be sure the fences are in accordance with our Village Code.

Staff will follow up with the developer to get confirmation of placement of mailboxes and placement of garbage receptacles since a representative of The Blue Development was not present at the Plan Commission meeting.

Plan Commission approved the plans as presented for recommendation to the Village Board at their 1/16/2024 meeting.

RECOMMENDED ACTION: Approve the Blue at the Trails Town Homes and Single Family Homes site plan as recommended by the Plan Commission on 1/16/2024.



**Village of Kimberly
Request for
Planning Commission Recommendation**

ITEM DESCRIPTION: Site plan for Town Homes and Wilson St. homes in the Blue Development

REPORT PREPARED BY: Greg Ulman

REPORT DATE: January 16th, 2024

EXPLANATION:

In the Planned Unit Development at The Blue Development, the developer has put together unique and visually appealing plans for the town homes as well as the 2-story single family homes. The 2-story homes will be placed along N. Wilson St. as well as 3 other locations inside the development, there will be two unique plans. The rest of the structures, minus the condo complexes, will be a mix of the town homes from 3 different plans. The attached map shows where each design will be placed.

Town Homes: 3 unique unit plans

- 3 floors each unit
- Slab on grade with 1st floor mechanical rooms
- Each unit floor plan designed to accommodate optional residential elevator
- 2, 3 & 4 unit town home buildings planned
- The individual unit plans can be arranged / combined like Legos taking advantage of each units' features for best utilization of each building site and number of units in each building
- Unique design features include:

Exterior

- Over garage roof-line to draw the eyes to 2nd & 3rd floors upon approach, visually lessening the 3-story height, and provide cover to entries
- Dutch roof line of each end of building (an inset gable) to further 'lighten' the visual height of the town home
- Extensive rear living amenities including 1st floor veranda set within a private fenced courtyard, 2nd floor covered terrace, and 3rd floor primary bedroom balcony of 'end' units

Interior

- 1st floor bonus space, half bath & mechanical room
- 2nd floor full open concept, 2 unit plans with coffee bar or coffee café
- 3rd floor bedrooms and location of laundry room
- All floors connected by 4' foot wide stairways & optional residential elevator

- the "Camden" 2,243' sq ft finished living area 'Center' unit only
- the "Hawthorne" 2,342' sq ft finished living area 'End' unit only
- the "Belmont" 2,562' sq ft finished living area 'Center' or 'End' unit

Wilson St. 2-Story Homes: 2 unique plans

- 2 floors each plan
- Slab on grade with 1st floor mechanical rooms
- Each of the 2 plans are designed to be mirror-imaged to follow McMahan site plan to accommodate utility / pole obstructions
- 1 home plan features a front primary bedroom, the other a back primary bedroom
- Each plan provides a large 2nd floor storage area, or optional 4th bedroom
- Unique features include:

Exterior

- Wrap-around 1st floor front roof-line providing extensive cover over 2nd stall, porch and to provide visual synergy with town homes
- Scandinavian design of low roof pitch and extended soffit overhang also blending with town homes
- Rear patio within a fenced in courtyard with gate to common-area Park

Interior

- Casual lifestyle 1st floor plan with open Kitchen / Living Room providing oversized, solid surface center island
 - Separate 'study' area front room
 - 2nd floor laundry room placed close to bedrooms
 - Conditioned storage area and optional 4th bedroom
 - Residential elevator
- the "Haven" 2,078' sq ft living area + 319' conditioned storage
 - the "Woodrow" 2,219' sq ft living area + 204' conditioned storage

* In addition to Wilson Street, buildings # 11b, 13b, & 22b

AESTHETIC:

- Both the town homes and single-family homes blend architectural lines and visual aspects of the large condo buildings including; blending faux wood appearance to the exterior front doors, soffits, and garage doors. Similar hues of color.

HEIGHT:

- The town homes feature a front inset gable to draw from the height of the condo buildings while the Wilson St. 2-story homes provide a low-pitch roof providing an overall

appeasing “massing scale” upon entering Blue at the Trail by offering a measured progression in overall height leading to the large condo buildings.

RECOMMENDED ACTION: Approve the site plans for the town home & Wilson St. home plans as presented.

Town home & Wilson Street home plans

Town homes: 3 unique unit plans

- 3 floors each unit
- Slab on grade with 1st floor mechanical rooms
- Each unit floor plan designed to accommodate optional residential elevator
- 2, 3 & 4 unit town home buildings planned
- The individual unit plans can be arranged / combined like legos taking advantage of each units' features for best utilization of each building site and number of units in each building
- Unique design features include:

Exterior

- Over garage roof-line to draw the eyes to 2nd & 3rd floors upon approach, visually lessening the 3-story height, and provide cover to entries
- Dutch roof line of each end of building (an inset gable) to further 'lighten' the visual height of the town home
- Extensive rear living amenities including 1st floor veranda set within a private fenced courtyard, 2nd floor covered terrace, and 3rd floor primary bedroom balcony of 'end' units

Interior

- 1st floor bonus space, half bath & mechanical room
- 2nd floor full open concept, 2 unit plans with coffee bar or coffee cafe
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- the "Hawthorne" 2,342' sq ft finished living area 'End' unit only
- the "Belmont" 2,562' sq ft finished living area 'Center' or 'End' unit

Wilson Street 2-story homes: 2 unique plans

- 2 floors each plan
- Slab on grade with 1st floor mechanical rooms
- Each of the 2 plans are designed to be mirror-imaged to follow McMahon site plan to accommodate utility / pole obstructions
- 1 home plan features a front primary bdrm, the other a back primary bdrm
- Each plan provides a large 2nd floor storage area, or optional 4th bedroom
- Unique features include:

Exterior

- Wrap-around 1st floor front roof-line providing extensive cover over 2nd stall, porch and to provide visual synergy with town homes
- Scandinavian design of low roof pitch and extended soffit overhang also blending with town homes
- Rear patio within a fenced in courtyard with gate to common-area park

Interior

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- the "Haven" 2,078' sq ft living area + 319' conditioned storage
- the "Woodrow" 2,219' sq ft living area + 204' conditioned storage

* In addition to Wilson Street, buildings # **11b, 13b, & 22b**

AESTHETIC:

Both the town homes and single family homes blend architectural lines and visual aspects of the large condo buildings including; blending faux wood appearance to the exterior front doors, soffits and garage doors. Similar hues of color.

HEIGHT:

The town homes feature a front inset gable to draw from the height of the condo buildings while the Wilson street 2-story homes provide a low-pitch roof providing an overall appealing 'massing scale' upon entering Blue at the Trail by offering a measured progression in overall height leading to the large condo buildings.











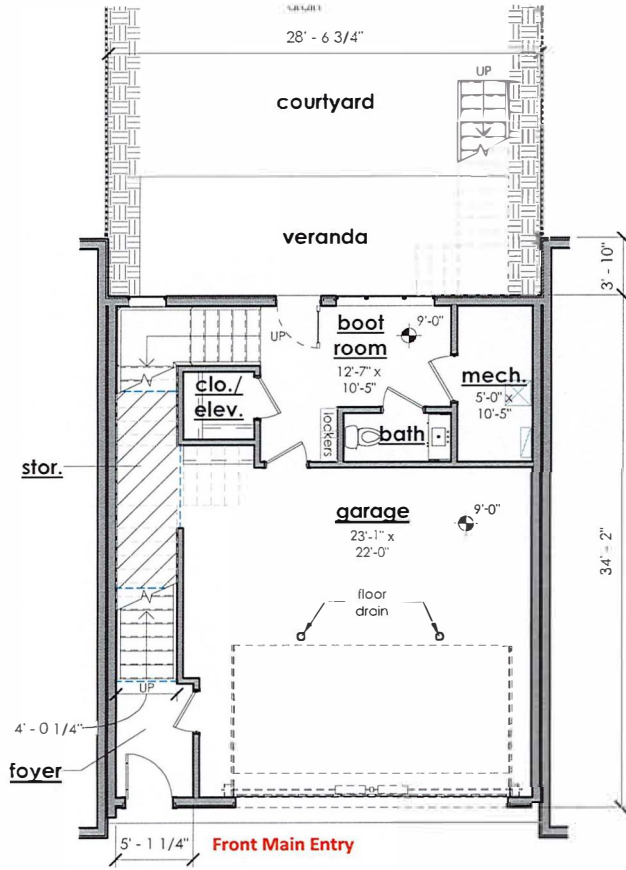


1st Floor: 507' sf Garage + 467' living space = 974' sf

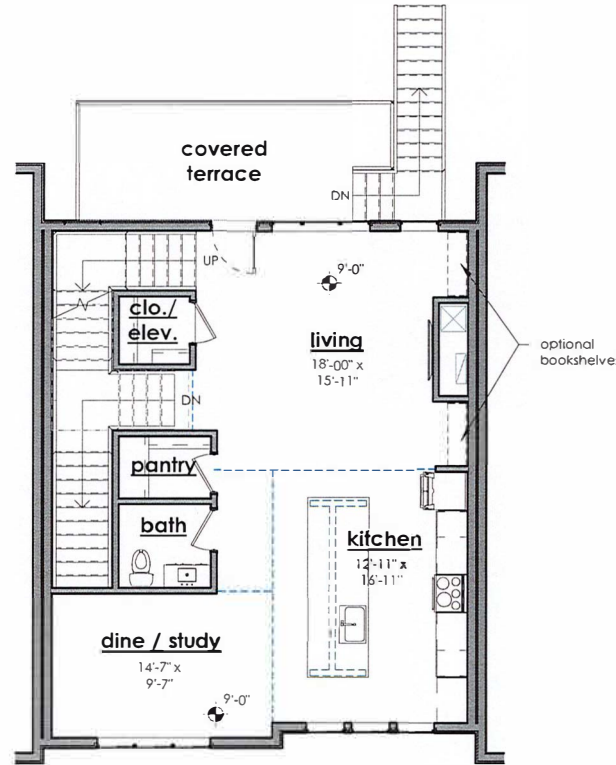
2nd Floor: 856' sf

3rd Floor: 920' sf

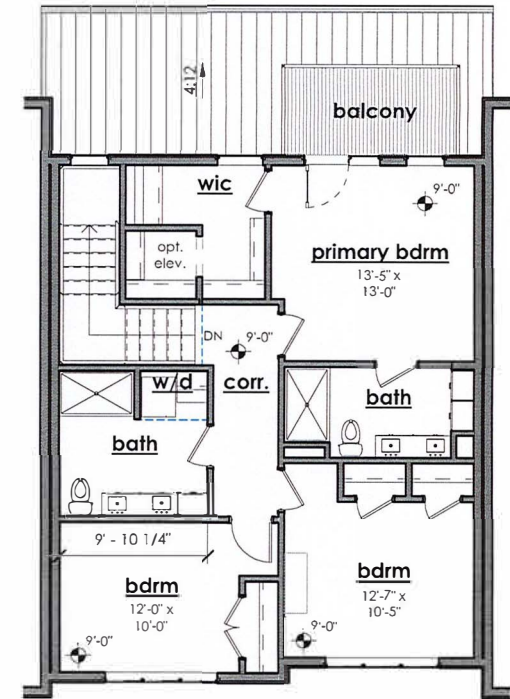
The "Camden" (CENTER - unit only)	
main living area:	1,776'
2nd floor -	856'
3rd floor -	920'
TOTAL LIVING SPACE	2,243'
inc 1st fl. -	467'
Total Unit w/garage	2,710'
inc garage 507'	



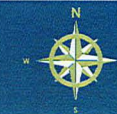
1 first floor plan
SCALE 1/8" = 1'-0"



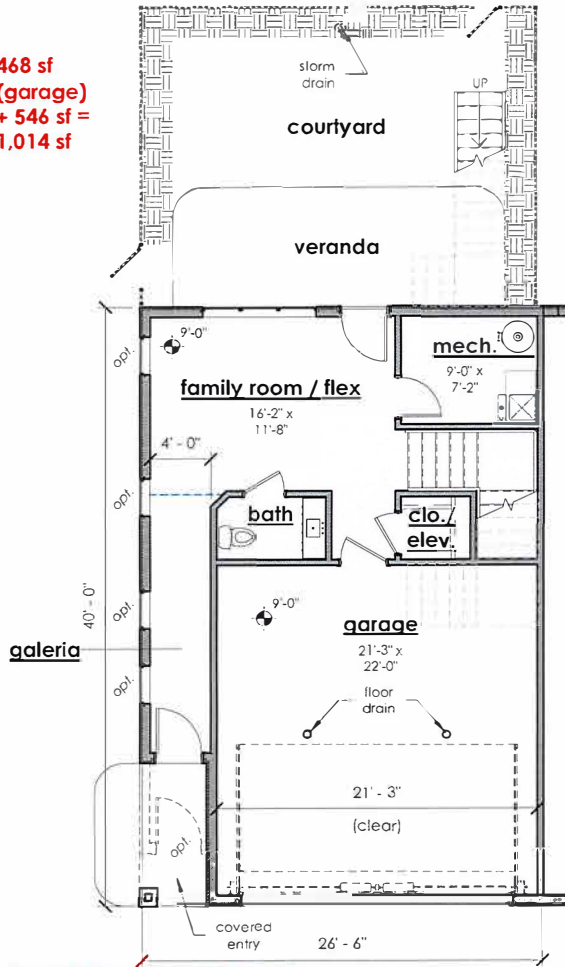
2 second floor plan
SCALE 1/8" = 1'-0"



3 third floor plan
SCALE 1/8" = 1'-0"



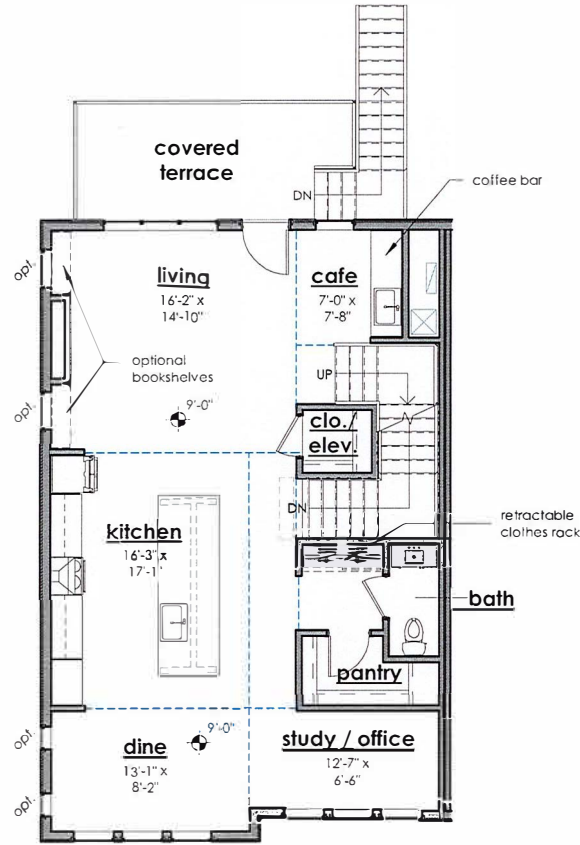
468 sf
(garage)
+ 546 sf =
1,014 sf



Covered Recessed Front Main Entry

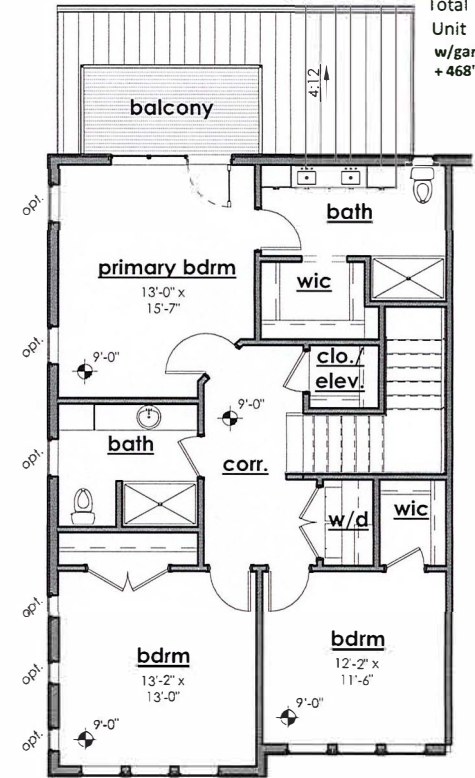
1 first floor plan
SCALE 1/8" = 1'-0"

2nd Floor: 994' sf



2 second floor plan
SCALE 1/8" = 1'-0"

3rd Floor: 1004' sf



3 third floor plan
SCALE 1/8" = 1'-0"

The "Belmont" (END or CENTER - unit)

main living area:	1,998'
2nd floor - 994'	
3rd floor - 1004'	
TOTAL LIVING SPACE	2,562'
inc 1st fl. - 564'	

Total Unit
w/garage
+ 468'
3,030'

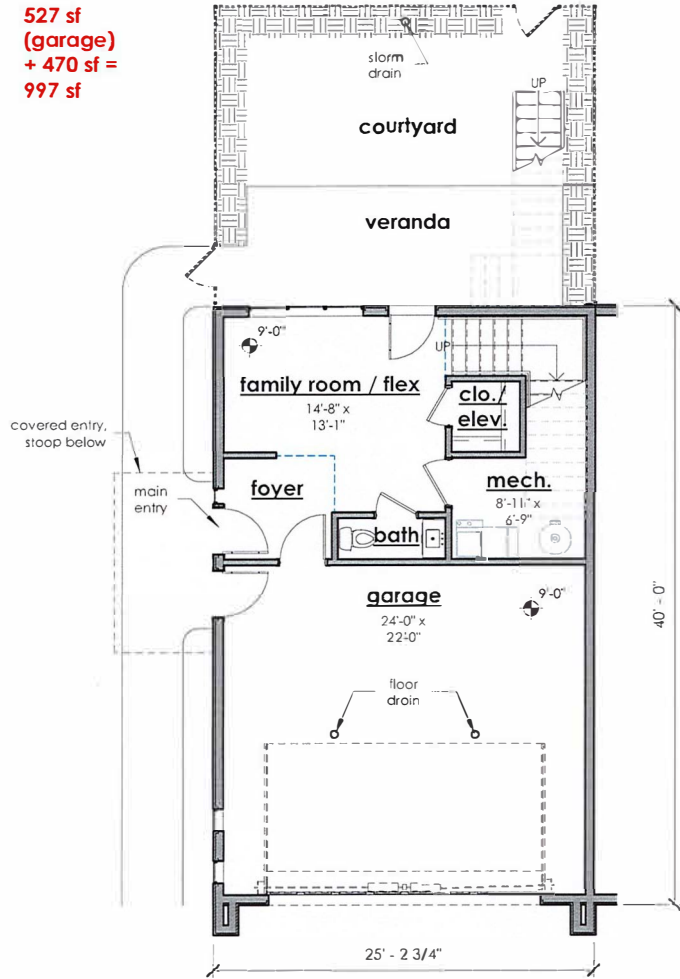
option #2 - end or center unit



project # 23467
10/04/23

pr-002

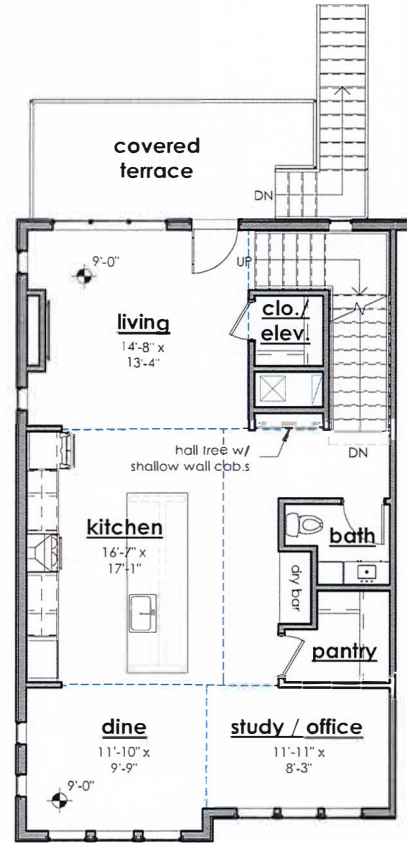
527 sf
(garage)
+ 470 sf =
997 sf



Side Covered Front Main Entry

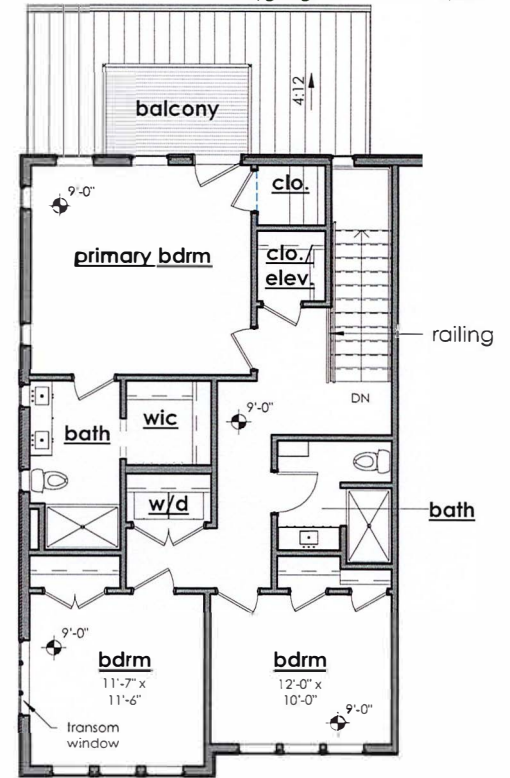
1 first floor plan
SCALE 1/8" = 1'-0"

2nd Floor: 936' sf



2 second floor plan
SCALE 1/8" = 1'-0"

3rd Floor: 936' sf



3 third floor plan
SCALE 1/8" = 1'-0"

The "Hawthorne" (END - unit only)	
main living area:	1,872'
2nd floor - 936'	
3rd floor - 936'	
TOTAL LIVING SPACE	2,342'
inc 1st fl. - 470'	
Total w/garage 527'	2,869'

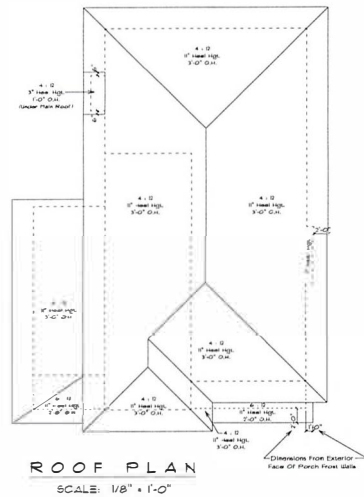
option #3 - end unit only



project # 23467

10/04/23

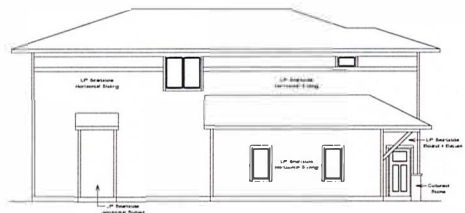
pr-003



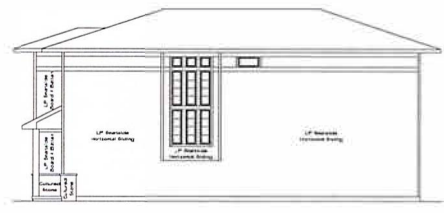
ROOF PLAN
SCALE: 1/8" = 1'-0"



REAR ELEVATION
SCALE: 1/8" = 1'-0"



LEFT ELEVATION
SCALE: 1/8" = 1'-0"



RIGHT ELEVATION
SCALE: 1/8" = 1'-0"



FRONT ELEVATION
SCALE: 1/4" = 1'-0"

SQUARE FOOTAGE:	
FIRST FLOOR:	1075
SECOND FLOOR:	587
GARAGE:	659
CONDITIONED STORAGE:	304
COVERED PORCH:	50

NOTE:
THIS CONSTRUCTION PLAN CURRENTLY DOESN'T NOTATE PROPER WALL BRACING REQUIREMENTS. PLEASE CONTACT WISCONSIN BUILDING SUPPLY PRIOR TO APPLYING FOR PERMITS TO INITIATE THE START OF THE WALL BRACING PLAN/CALCULATIONS

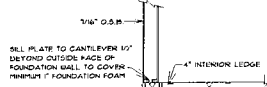


Design concept example

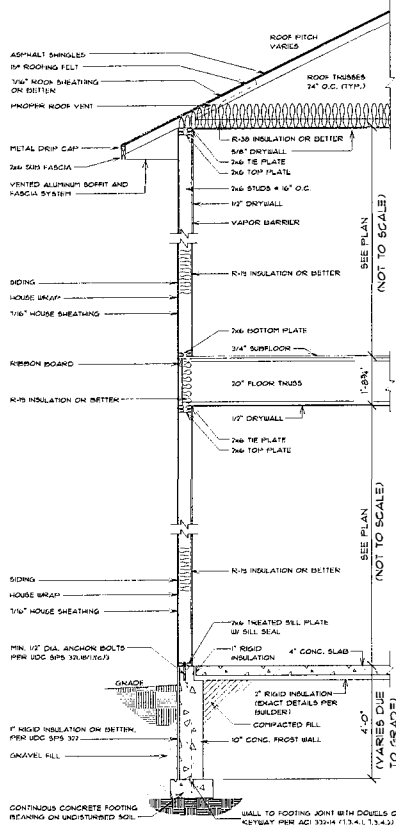
the "Woodrow"

Front Primary Bedroom Plan

<p>IMPORTANT NOTE: IT IS ADVISED THAT ARCHITECTS/ENGINEERS HAVE BEEN MADE AWARE OF THIS CONSTRUCTION PLAN. THE GENERAL CONTRACTOR SHOULD CONTACT THE ARCHITECT/ENGINEER TO VERIFY ALL DIMENSIONS, MATERIALS, AND FINISHES. IT IS UNDERSTOOD THAT THE USONE'S LIABILITY AND PROFESSIONAL RESPONSIBILITY DOES NOT EXTEND TO THE GENERAL CONTRACTOR'S OBLIGATIONS TO THE CLIENT.</p>	
<p>WISCONSIN P.O. BOX 10007 GREEN BAY, WI 54301-0007</p> <p>OWNER: COURTESY GREEN BAY, WI 54301 PHONE: 920.835.0000 WWW.WISCONSINBS.COM</p>	<p>Wisconsin BUILDING SUPPLY</p>
<p>PROJECT: WOODROW JOB NO: 23-365-T DATE: August 18, 2023 DRAWN BY: Alyssa Pheasant CHECKED BY: [Signature]</p>	<p>KASTER, BRYAN 1st Story, 2nd Floor, 1st Floor Primary, Overall 1/18/2023 1/18/2023 1/18/2023 1/18/2023 1/18/2023 1/18/2023 1/18/2023 1/18/2023</p>

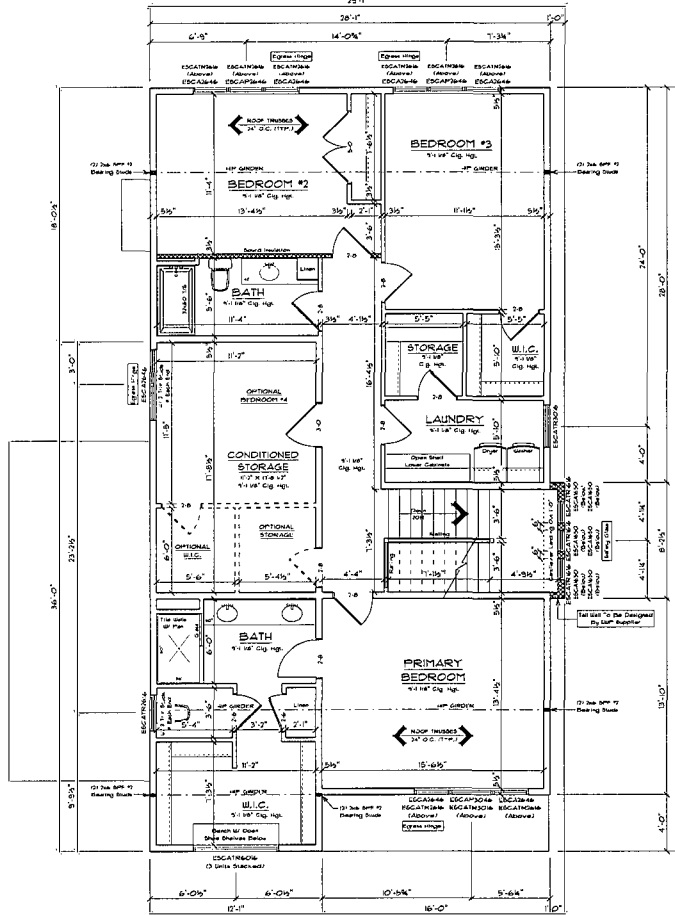


BOX SILL DETAIL
SCALE: 1/2" = 1'-0"



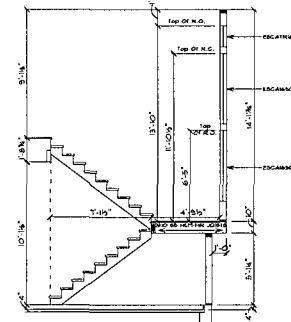
TYPICAL TWO-STORY SECTION
SCALE: 1/2" = 1'-0"

ALL ITEMS TO BE VERIFIED BY CONTRACTOR

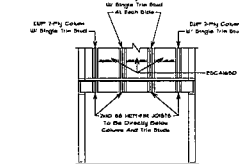


SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"
9'-1 1/8" CLG. HGT.



STAIR SECTION 1



STAIR SECTION 2

SQUARE FOOTAGE:

FIRST FLOOR	1021
SECOND FLOOR	1847
GARAGE	659
CONDITIONED STORAGE	304
COVERED PORCH	56

PLAN SPECIFICATIONS:

- THE CONDITIONS LISTED BELOW ARE STANDARD FOR THIS PLAN ONLY. EXCEPTIONS ARE NOTED ON THE PLAN ITSELF.
- WALL FINISHES:**
 - 1/2" x 4" POWERED CONCRETE FINISHES DUE TO GRADE!
 - 8" x 4" POWERED CONCRETE FINISHES DUE TO GRADE!
 - 1/2" x 4" POWERED CONCRETE FINISHES DUE TO GRADE!
- FLOOR FINISHES:**
 - 1/2" x 4" POWERED CONCRETE FINISHES DUE TO GRADE!
 - 1/2" x 4" POWERED CONCRETE FINISHES DUE TO GRADE!
 - 1/2" x 4" POWERED CONCRETE FINISHES DUE TO GRADE!
- CEILING FINISHES:**
 - 1/2" x 4" POWERED CONCRETE FINISHES DUE TO GRADE!
 - 1/2" x 4" POWERED CONCRETE FINISHES DUE TO GRADE!
 - 1/2" x 4" POWERED CONCRETE FINISHES DUE TO GRADE!
- ROOF FINISHES:**
 - 1/2" x 4" POWERED CONCRETE FINISHES DUE TO GRADE!
 - 1/2" x 4" POWERED CONCRETE FINISHES DUE TO GRADE!
 - 1/2" x 4" POWERED CONCRETE FINISHES DUE TO GRADE!
- STAIR FINISHES:**
 - 1/2" x 4" POWERED CONCRETE FINISHES DUE TO GRADE!
 - 1/2" x 4" POWERED CONCRETE FINISHES DUE TO GRADE!
 - 1/2" x 4" POWERED CONCRETE FINISHES DUE TO GRADE!

NOTE:
BUILDER RESPONSIBLE TO TRANSFER POINT LOADS FROM ABOVE THROUGH THE FLOOR SYSTEM, AND OTHER WALLS WITH SOLID BLOCKING DOWN TO FOUNDATION WALLS BELOW.

NOTE:
EXTERIOR DIMENSIONS ARE SHOWN TO REFLECT EDGE FRAMING WALLS HELD OUT 1/2" FROM EXTERIOR WALL SHEATHING TO FINISH OF WITH 1" FOUNDATION FOOTING. IF FOUNDATION FOOTING IS TO BE OTHER THAN 1" FRAMING DIMENSIONS ARE TO BE FIELD ADJUSTED AND MAINTAIN ALL CODE COMPLIANCE ACCORDINGLY.

WISCONSIN BUILDING SUPPLY

KASTER, BRYAN

DATE: August 16, 2023

PROJECT: 23-365-T

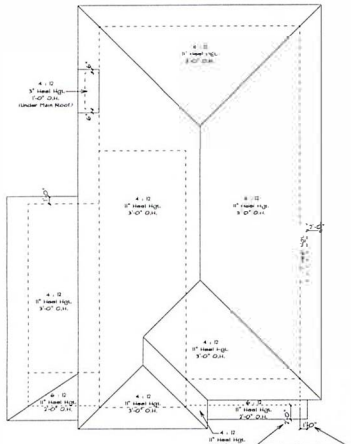
LOCATION: GARAGE LEFT

SCALE: 1/4" = 1'-0"

1/2" x 4" POWERED CONCRETE FINISHES DUE TO GRADE!

1/2" x 4" POWERED CONCRETE FINISHES DUE TO GRADE!

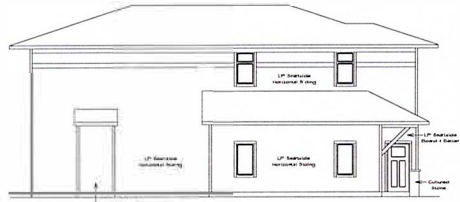
1/2" x 4" POWERED CONCRETE FINISHES DUE TO GRADE!



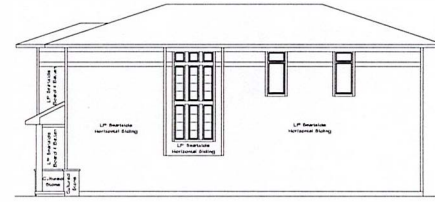
ROOF PLAN
SCALE: 1/8" = 1'-0"



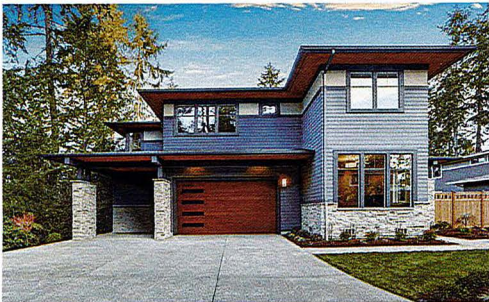
REAR ELEVATION
SCALE: 1/8" = 1'-0"



LEFT ELEVATION
SCALE: 1/8" = 1'-0"



RIGHT ELEVATION
SCALE: 1/8" = 1'-0"



Concept Design example



FRONT ELEVATION
SCALE: 1/4" = 1'-0"

the "Haven"

Rear Primary Bedroom Plan

SQUARE FOOTAGE:	
FIRST FLOOR	1052
SECOND FLOOR	1006
GARAGE	458
CONDITIONS	458
STORAGE	215
COVERED PORCH	55

NOTE:
THIS CONSTRUCTION PLAN CURRENTLY DOES NOT NOTATE PROPER WALL BRACING REQUIREMENTS. PLEASE CONTACT WISCONSIN BUILDING SUPPLY PRIOR TO APPLYING FOR PERMITS TO INITIATE THE START OF THE WALL BRACING PLAN/CALCULATIONS

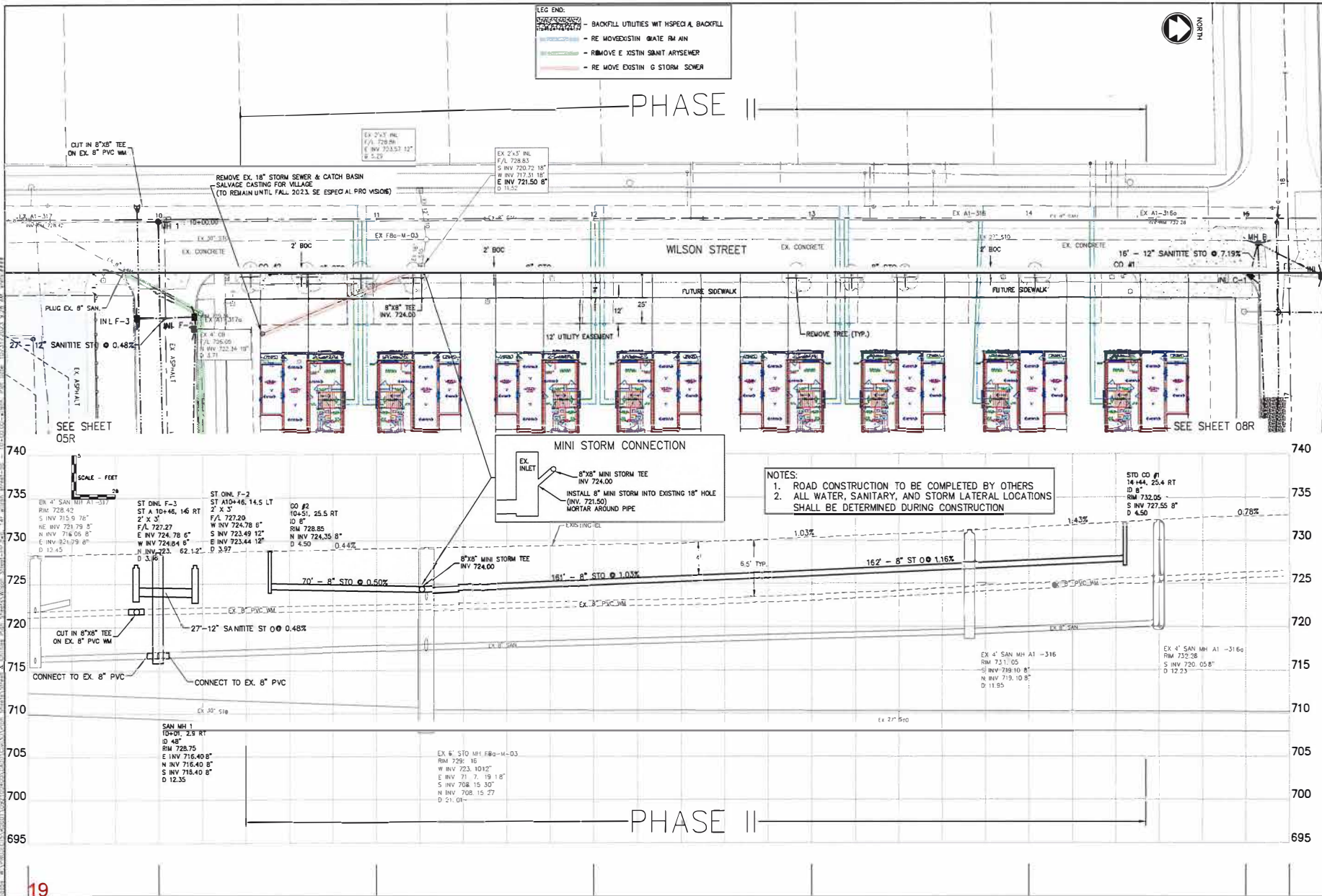
DESIGNER/DESIGNED FOR:	KASTER, BRYAN
DATE:	August 16, 2024
SCALE:	AS SHOWN
PROJECT NO.:	23-283-T
PLAN NO.:	23-283-T

IMPORTANT NOTE:
IT IS ADVISED THAT ALL HOMEOWNERS MUST READ AND UNDERSTAND THE TERMS AND CONDITIONS OF THE WISCONSIN BUILDING SUPPLY CONTRACT. THE CONTRACT IS A LEGAL AGREEMENT AND IS BINDING ON ALL PARTIES. IT IS UNDERSTOOD THAT THE USUAL VARIETY AND OCCASIONAL SERVICE COSTS AND MATERIALS PRICES FOR THIS AND OTHER PROJECTS WILL BE SUBJECT TO MARKET FLUCTUATIONS AND WILL BE ADJUSTED AS NECESSARY.

FOR NO ADDRESS
GREEN BAY, WI 53001
OFFICE
200 LAUREL ROAD
PHONE: 920-346-9800
FAX: 920-346-9875



GARAGE LEFT



LEG. END.

- BACKFILL UTILITIES W/ HSPCAL. BACKFILL
- REMOVE EXIST. WATER MAIN
- REMOVE EXIST. SANITARY SEWER
- REMOVE EXIST. STORM SEWER

PHASE II



WILSON STREET

MINI STORM CONNECTION

NOTES:

1. ROAD CONSTRUCTION TO BE COMPLETED BY OTHERS
2. ALL WATER, SANITARY, AND STORM LATERAL LOCATIONS SHALL BE DETERMINED DURING CONSTRUCTION

McMAHON
ENGINEERS & ARCHITECTS

1455 WISCONSIN AVENUE, SUITE 100
MILWAUKEE, WISCONSIN 53233
PHONE: 414.224.1100
FAX: 414.224.1101
WWW.MCMAHONENGINEERS.COM

NO.	DATE	DESCRIPTION
1	10/27/22	ISSUED SANITARY AND WATER LATERAL LOCATIONS

THE BLUE DEVELOPMENT
VILLAGE OF KIMBERLY, OUTAGAMIE COUNTY, WI
WILSON STREET

DESIGNED	DRAWN
ZRL	ZRL
PROJECT NO.	
K 0001 09-21-00400	
DATE	
OCTOBER 31, 2023	

SHEET NO.
14R

Fox River shore frontage: 2,111' lineal feet

NORTH



120 60 0 120

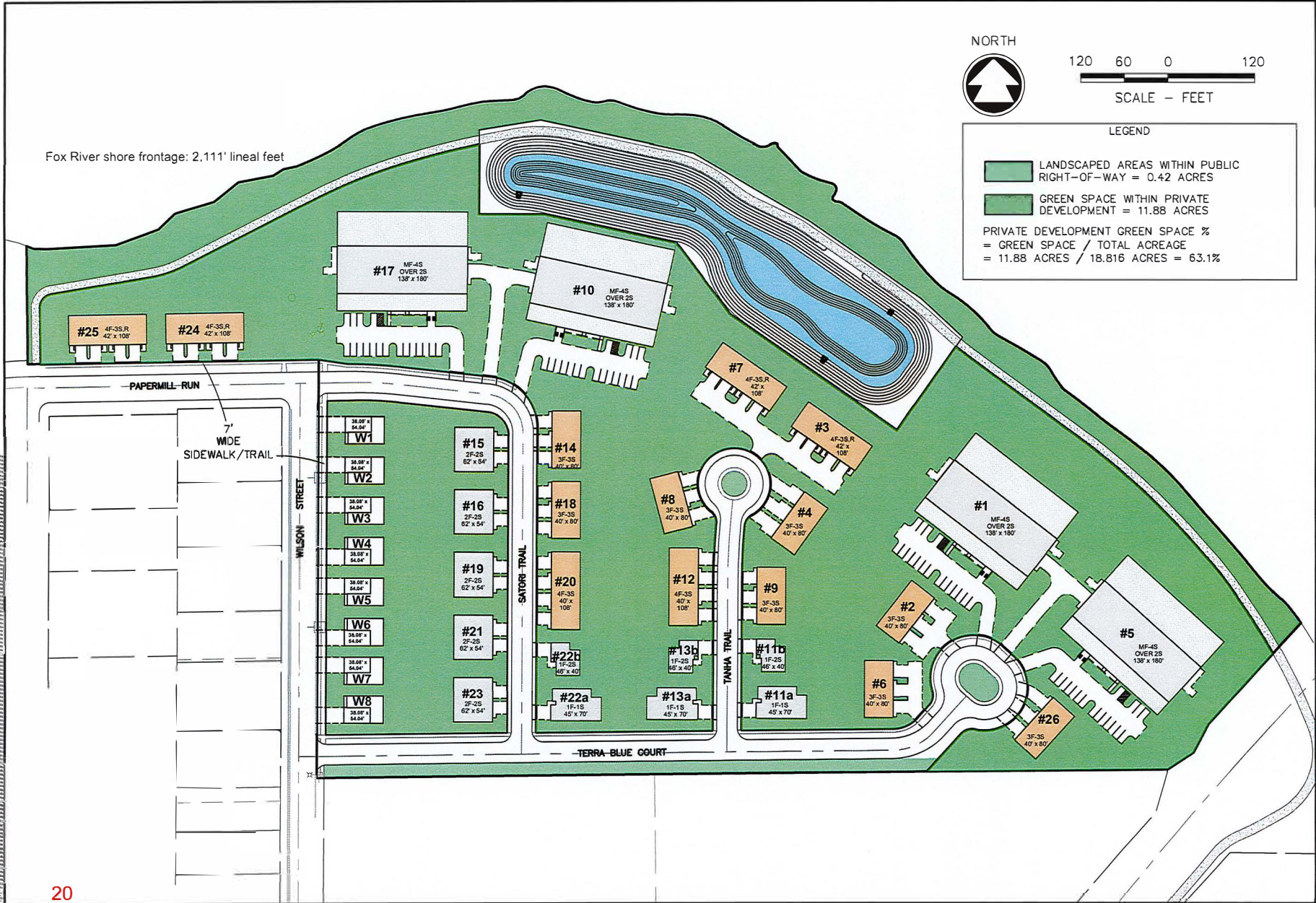
SCALE - FEET

LEGEND

LANDSCAPED AREAS WITHIN PUBLIC RIGHT-OF-WAY = 0.42 ACRES

GREEN SPACE WITHIN PRIVATE DEVELOPMENT = 11.88 ACRES

PRIVATE DEVELOPMENT GREEN SPACE %
= GREEN SPACE / TOTAL ACREAGE
= 11.88 ACRES / 18.816 ACRES = 63.1%



McMAHON
ENGINEERS ARCHITECTS

McMAHON ASSOCIATES, INC.
1445 McMAHON DRIVE NEENAH, WI 54956
Mailing: P.O. BOX 1026 NEENAH, WI 54957-1026
PH 920.751.4210 FX 920.751.4284 ICMGRP.COM

McMAHON ASSOCIATES, INC. PROVIDES THIS DRAWING & DATA INSTRUMENTS OF SERVICE. ALL RIGHTS RESERVED. McMAHON ASSOCIATES, INC. AND/OR RECIPIENT AGREES TO THE FULL ESTIMATE PERMITTED BY McMAHON ASSOCIATES, INC. CHANGES MADE TO THE ORIGINAL DRAWING CONSENT BY McMAHON ASSOCIATES, INC.

THE BLUE DEVELOPMENT
V. OF KIMBERLY, OUTAGAMIE COUNTY, WI

DESIGNED ZRL	DRAWN ZRL
PROJECT NO. K0001 092100400	
DATE 10/20/2023	
SHEET NO. 1	



Village of Kimberly REQUEST FOR BOARD CONSIDERATION

ITEM DESCRIPTION: Change Order #2 to Vinton Construction Company of an increase of \$42,405.02 for Sunset Drive Reconstruction Project

REPORT PREPARED BY: Greg Ulman, Director of Public Works/Zoning Administrator

REPORT DATE: January 22, 2024

ADMINISTRATOR'S REVIEW / COMMENTS:

No additional comments to this report _____ **MEM** _____

See additional comments attached _____

EXPLANATION: Engineer Werner has provided the following explanation of the change order:

1. SUNSET DRIVE

- WE Energies Sidewalk Responsibility = \$17,074.98 (Village has billed to WE Energies, as agreed to, for sidewalk removed during gas line replacements)
 - 4" sidewalk Bid = \$27,475
 - 4" sidewalk final = \$48,175
 - WE Sidewalk Cost = (\$17,074.98)
 - Net Village Cost = \$31,100.02 (This \$3,625.02 overage equates to an additional 18 sidewalk blocks removed and replaced over the 2022 estimate)
- Landscaping Contractor Remobilization
 - AT&T Contractor was assigned this cost of \$2,500
 - This was requested by the Village and McMahon to avoid disturbance of restored terraces just to be disturbed immediately after completion by AT&T work. The Village required a permit to cover these costs incurred from AT&T's contractor. The \$2,500 will be permanently withheld from their permit deposit.
- Vinton Delay Charges
 - The delay was due to many Spectrum lines that needed to be relocated during construction. These lines were not originally installed to the correct grade and impacted Vinton's street excavation. These utilities would typically be 18 to 24 inches below grade (for this type of buried utility), putting them lower than the street excavation. They were much shallower and impacted street excavation. Spectrum was slow to react and caused Vinton delay. Vinton originally asked for over 2 times the \$7,900, we felt the full amount was not justified and arrived at the \$7,900 amount. See the attached detailed explanation and contract language we followed to arrive at the change order amount.

2. Miscellaneous Patching

- Rivers Edge Pavement Replacement = \$13,712.90
 - Removal and replacement of concrete street damaged by Radtke Contractor' crane delivery for a home construction on Rivers Edge Drive. Allen had tried to assign responsibility to Radtke but did not have success.
- Water main Break Patch on Papermill Run near the Oasis = \$5,872.52
- Midwest Expansion Street Patch for newly installed sewer and water service lines to their Pool = \$8,188.90
 - This patch was repaired to Village Standards and will be billed to and paid for by Midwest Expansion.

Funding: The Sunset Drive Construction costs will be funded by the Transportation Utility Fund. The Miscellaneous Patching costs will be paid out of the TID 6 Fund. Contractors will be billed as noted and the respective funds will be reimbursed for those costs.

RECOMMENDED ACTION: Staff recommends approval of Change Order #2 to Vinton Construction Company of an increase of \$42,405.02 for Sunset Drive Street Reconstruction.

Attachments:

1. Change Order #2
2. Change Order Vinton Request – Excavation Delays
3. Response to Vinton Request
4. Map of Papermill Run patches

McMAHON

ENGINEERS ARCHITECTS

December 20, 2023

Village of Kimberly
Attn: Maggie Mahoney
515 W. Kimberly Avenue
Kimberly, WI 54136

Re: Village of Kimberly
Sunset Drive Street Reconstruction
Change Order #2
McM. No. K0001-09-22-00637.00

Dear Maggie:

Enclosed herewith is Change Order #2 for the above referenced project. This change is an increase in the Contract in the amount of \$42,405.02. The current Contract Price is \$793,157.96.

Please review and sign in the space provided. **Return all copies to our office**, and we will distribute accordingly.

Should you have any questions, please contact our office at your convenience.

Respectfully,

McMahon Associates, Inc.



Brad D. Werner, P.E.
Vice President / Sr Municipal Engineer

BDW:car

Enclosure: Change Order #2

McMAHON

ENGINEERS ARCHITECTS

1445 McMAHON DRIVE P.O. BOX 1025
 NEENAH, WI 54956 NEENAH, WI 54957-1025

CHANGE ORDER

McMAHON ASSOCIATES, INC.

TELEPHONE: 920.751.4200
 FAX: 920.751.4284

VINTON CONSTRUCTION COMPANY
 1322 33rd Street
 PO Box 137
 Two Rivers, WI 54241

Contract No. K0001-09-22-00637.00
 Project File No. K0001-09-22-00637.00
 Change Order No. Two (2)
 Issue Date: November 15, 2023
 Project: Village of Kimberly
Sunset Drive Street Reconstruction

You Are Directed To Make The Changes Noted Below In The Subject Contract:

	(Item Description)	(Price)
2.1	See Attached Final Quantities Spreadsheet	+ \$42,405.02
	TOTAL	+ \$42,405.02

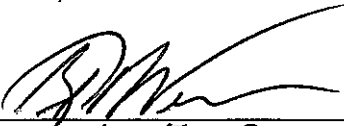
The Changes Result In The Following Adjustments:


	CONTRACT PRICE	TIME
Prior To This Change Order	<u>\$750,752.94</u>	<u>-</u> days
Adjustments Per This Change Order	<u>+ \$42,405.02</u>	<u>0</u> days
Current Contract Status	<u>\$793,157.96</u>	<u>-</u> days

Recommended:
McMAHON ASSOCIATES, INC.
 Neenah, Wisconsin

Accepted:
VINTON CONSTRUCTION CO.
 Wisconsin

Authorized:
VILLAGE OF KIMBERLY
 Wisconsin

By: 
 Date: 11-15-23

By: 
 Date: 11.25.23

By: _____
 Date: _____

- OWNER Copy
- CONTRACTOR Copy
- ENGINEER Copy (Contract Copy)
- FILE COPY

Four (4) Copies Should Accompany This Change Order
Execute And Return To ENGINEER For Distribution

ESTIMATED FINAL QUANTITIES

VILLAGE OF KIMBERLY
 Sunset Drive Street Reconstruction
 Contract No. K0001-09-22-00637.00
 Project Manager: Brad Werner

VINTON CONSTRUCTION CO.
 1322 33rd Street
 PO Box 137
 Two Rivers, WI 54241

ORIGINAL BID

SUNSET DRIVE

Item	Qty	Unit	Description
1.	1	L.S.	Mobilization and Bonding
2.	1	L.S.	Unclassified Excavation Sunset Drive
3.	2,600	S.Y.	Concrete Street Pavement Removal
4.	6,750	S.Y.	6 Inch Concrete Pavement Integral Pavement
5.	7,500	S.Y.	8 Inch Road Base
6.	200	C.Y.	EBS Including Base Course
7.	5,400	S.F.	Remove and Replace 6 Inch Concrete Apron/Sidewalk with Base
8.	3,500	S.F.	Remove and Replace 4 Inch Concrete Sidewalk with Base
9.	140	L.F.	Full Depth Sawcut Existing Concrete Pavement
10.	70	Ea.	#6 Epoxy Coated Tie Bars Drilled and Set
11.	70	S.F.	Detectable Warning Field
12.	3,000	S.Y.	3 Inch Pulverized Topsoil, Seed Mix #4 and E-Mat
13.	40	Ea.	Stump Removal
14.	12	Ea.	Inlet Protection Maintenance
15.	9	Ea.	Internal Chimney Seal
16.	1	L.S.	Asphalt Pavement Mobilization
17.	25	S.Y.	3-1/2 Inch Asphalt Pavement
18.	45	L.F.	Full Depth Sawcut Asphalt Pavement
19.	27	Ea.	Remove and Reset Mailbox
Extra	0	L.S.	Landscaping Contractor Re-Mobilization on Sunset Drive
Extra	0	L.S.	Sunset Dr Excavation Delays Due to Spectrum Conflicts

SUB-TOTAL (Items 1. through 19., Inclusive)

\$625,596.94

\$667,932.24

Qty	Total
1	\$35,000.00
1	\$97,000.00
2,600	\$3,900.00
6,863	\$294,080
7,613	\$57,859
30	\$1,395
7,272	\$61,812
6,137	\$48,175
144	\$432
58	\$522
70	\$2,240
3,160	\$39,026
46	\$6,900
12	\$1,273
9	\$4,455
0	\$0
0	\$0
45	\$135
26	\$3,328
1	\$2,500.00
1	\$7,900.00

MISCELLANEOUS STREET PATCHING: RIVERS EDGE DRIVE & PAPERMILL RUN

Item	Qty	Unit	Description
20.	1	L.S.	Mobilization
21.	500	L.F.	Full Depth Sawcut Concrete Pavement
22.	200	Ea.	#6 Epoxy Coated Tie Bars Drilled and Set
23.	20	S.Y.	Remove and Replace 8 Inch Concrete Street Pavement
24.	150	S.Y.	Remove and Replace 6 Inch Concrete Street Pavement
Extra	0	S.Y.	3 Inch Pulverized Topsoil, Seed Mix #4 and E-Mat

SUB-TOTAL (Items 20. through 24., Inclusive)

\$20,092.00

\$27,774.32

Qty	Total
1	\$4,000.00
352	\$1,056.00
117	\$1.17
122	\$11,224.00
131	\$11,135.00
29	\$358.15

PAPERMILL RUN MULTIMODAL TRAIL CHANGE ORDER

Item	Qty	Unit	Description
CO 01	1	L.S.	Mobilization
CO 02	10,700	S.F.	5 Inch Microfiber Concrete Trail
CO 03	1	L.S.	Temporary Seed and Mulch
CO 04	100	S.Y.	3 Inch Asphalt Driveway Repair

CHANGE ORDER TOTAL

\$105,064.00

\$97,451.40

Qty	Total
1	\$13,000.00
10,695	\$80,426.40
1	\$1,500.00
25	\$2,525.00

TOTAL

\$750,752.94

\$793,157.96



VINTON CONSTRUCTION COMPANY

An Equal Opportunity Employer
 2705 N. Rapids Rd., PO Box 1987
 Manitowoc, WI 54221-1987
 P: (920) 682-0375 F: (920) 682-2838

CHANGE ORDER REQUEST

Brad Werner, McMahon Associates
 RE: Village of Kimberly
 Sunset Drive Project

DATE: 11/10/2023

VCC#: 23069

Excavation Delays

Vinton Construction Company (VCC) had to excavate around a high Spectrum line. Over the duration of the project, VCC was continuously digging around utility lines that were above our subgrade. VCC had to demobe and then re-mobe to finish the excavation after the utility company lowered the existing line. VCC excavated 28 loads on 7/19 and 26 loads on 7/21. VCC feels it is reasonable to invoice for one (1) lost day due to the extra work. Actual down time far exceeds one (1) day of lost time.

<u>DATE</u>	<u>DESCRIPTION</u>	<u>QTY</u>	<u>UNIT</u>	<u>UNIT PRICE</u>	<u>AMOUNT</u>
	Backhoe w/ Operator	10.00	HRS	\$ 210.00	\$ 2,100.00
	Dozer w/ Operator	10.00	HRS	\$ 200.00	\$ 2,000.00
	Laborer	10.00	HRS	\$ 120.00	\$ 1,200.00
	Quadaxle w/ Operator	10.00	HRS	\$ 130.00	\$ 1,300.00
	Quadaxle w/ Operator	10.00	HRS	\$ 130.00	\$ 1,300.00

Total Due: \$ 7,900.00

From: Brad Werner
Sent: Monday, November 13, 2023 10:13 AM
To: Greg Ulman; Maggie Mahoney
Subject: Vinton Change Order Request
Attachments: CONTRACT LANGUAGE.pdf; Change Order Request Kimberly Sunset Drive Excavation Delays.pdf

Greg / Maggie,

Attached is Vinton's request for extra compensation due to Spectrum mainline buried lines directly behind the curb which interfered in Vinton's excavation to subgrade for street construction. We concur that this was only a portion of the impact to Vinton and that they are not asking for full compensation from the underground utility conflict. We estimate this is less than half of the impact they suffered.

I've attached the contract language on underground utility conflicts. The contract puts responsibility on the contractor as long as utilities are properly located and shown on the plans. We sometimes have a problem with this when utility companies choose not to locate when we call in locates for a project prior to design field work. In this case it does appear that the utility companies located their facilities and we collected the locations flagged with our design survey. This would lean the burden of responsibility on Vinton, however in this case I believe there is reason to consider Vinton's request as fair.

I contacted Spectrum and asked what their standard depth of bury is per diggers hotline. The lines in question were not service lines, which are typically at very shallow depths (less than 1 ft). These lines were mainline distribution lines and should be buried at 30 to 36 inches below grade. These lines were not installed to that depth. To excavate to subgrade Vinton was less than 2 ft below grade and typically less than 20 inches. It would be a reasonable assumption by Vinton that lines, while in their work zone, would be buried at 30 to 36 inches below the surface and not in their excavation.

When Vinton encountered problem areas they immediately contacted Spectrum. Spectrum was not able to react quickly enough, and while Vinton attempted to avoid conflict areas as long as possible, the conflicts were not resolved by Spectrum timely enough to avoid Vinton having to move crews out and back in again. They were also significantly slowed by having lines to work around. Had they ripped these lines out, Spectrum customers would have been taken out of service, which is not good for anyone.

While ultimately fault is with Spectrum for improper installation of these lines, neither the Village or Vinton has the ability to easily recapture these costs from them. We were fortunate to identify Vinton delay costs with the AT&T contractor at the time of permitting to recapture them.

In my opinion Vinton is being fair and reasonable with the delay costs requested. The lines, while shown on the plans, should not have been in conflict with Vinton's work had they been installed to the correct grade by Spectrum. I would recommend this change order be accepted as compromise. If the Village does have recourse with Spectrum, I would suggest we pursue it.

I have had very few instances like this in our street projects over the past 34 years. That being said, moving forward with utilities in the future when issuing permits for their work in the right of way we should look for ways to protect the village down the line should a poor installation require compensation for work done by the municipality for street or storm sewer work.

Please discuss and let me know if you have questions.

Thanks,
Brad

Contractor's cost of, or time required for, performance of the Work; subject, however, to the following:

- a. Such condition must fall within any one or more of the categories described in Paragraph 5.04.A;
 - b. With respect to Work that is paid for on a unit price basis, any adjustment in Contract Price will be subject to the provisions of Paragraph 13.03; and,
 - c. Contractor's entitlement to an adjustment of the Contract Times is subject to the provisions of Paragraphs 4.05.D and 4.05.E.
2. Contractor shall not be entitled to any adjustment in the Contract Price or Contract Times with respect to a subsurface or physical condition if:
- a. Contractor knew of the existence of such condition at the time Contractor made a commitment to Owner with respect to Contract Price and Contract Times by the submission of a Bid or becoming bound under a negotiated contract, or otherwise;
 - b. The existence of such condition reasonably could have been discovered or revealed as a result of any examination, investigation, exploration, test, or study of the Site and contiguous areas expressly required by the Bidding Requirements or Contract Documents to be conducted by or for Contractor prior to Contractor's making such commitment; or
 - c. Contractor failed to give the written notice required by Paragraph 5.04.A.
3. If Owner and Contractor agree regarding Contractor's entitlement to and the amount or extent of any adjustment in the Contract Price or Contract Times, then any such adjustment will be set forth in a Change Order.
4. Contractor may submit a Change Proposal regarding its entitlement to or the amount or extent of any adjustment in the Contract Price or Contract Times, no later than 30 days after Owner's issuance of the Owner's written statement to Contractor regarding the subsurface or physical condition in question.
- F. *Underground Facilities; Hazardous Environmental Conditions:* Paragraph 5.05 governs rights and responsibilities regarding the presence or location of Underground Facilities. Paragraph 5.06 governs rights and responsibilities regarding Hazardous Environmental Conditions. The provisions of Paragraphs 5.03 and 5.04 are not applicable to the presence or location of Underground Facilities, or to Hazardous Environmental Conditions.

5.05 *Underground Facilities*

- A. *Contractor's Responsibilities:* Unless it is otherwise expressly provided in the Supplementary Conditions, the cost of all of the following are included in the Contract Price, and Contractor shall have full responsibility for:
1. reviewing and checking all information and data regarding existing Underground Facilities at the Site;
 2. complying with applicable state and local utility damage prevention Laws and Regulations;

3. verifying the actual location of those Underground Facilities shown or indicated in the Contract Documents as being within the area affected by the Work, by exposing such Underground Facilities during the course of construction;
 4. coordination of the Work with the owners (including Owner) of such Underground Facilities, during construction; and
 5. the safety and protection of all existing Underground Facilities at the Site, and repairing any damage thereto resulting from the Work.
- B. **Notice by Contractor:** If Contractor believes that an Underground Facility that is uncovered or revealed at the Site was not shown or indicated on the Drawings, or was not shown or indicated on the Drawings with reasonable accuracy, then Contractor shall, promptly after becoming aware thereof and before further disturbing conditions affected thereby or performing any Work in connection therewith (except in an emergency as required by Paragraph 7.15), notify Owner and Engineer in writing regarding such Underground Facility.
- C. **Engineer's Review:** Engineer will:
1. promptly review the Underground Facility and conclude whether such Underground Facility was not shown or indicated on the Drawings, or was not shown or indicated with reasonable accuracy;
 2. identify and communicate with the owner of the Underground Facility; prepare recommendations to Owner (and if necessary issue any preliminary instructions to Contractor) regarding the Contractor's resumption of Work in connection with the Underground Facility in question;
 3. obtain any pertinent cost or schedule information from Contractor; determine the extent, if any, to which a change is required in the Drawings or Specifications to reflect and document the consequences of the existence or location of the Underground Facility; and
 4. advise Owner in writing of Engineer's findings, conclusions, and recommendations.
- During such time, Contractor shall be responsible for the safety and protection of such Underground Facility.
- D. **Owner's Statement to Contractor Regarding Underground Facility:** After receipt of Engineer's written findings, conclusions, and recommendations, Owner shall issue a written statement to Contractor (with a copy to Engineer) regarding the Underground Facility in question addressing the resumption of Work in connection with such Underground Facility, indicating whether any change in the Drawings or Specifications will be made, and adopting or rejecting Engineer's written findings, conclusions, and recommendations in whole or in part.
- E. **Early Resumption of Work:** If at any time Engineer determines that Work in connection with the Underground Facility may resume prior to completion of Engineer's review or Owner's issuance of its statement to Contractor, because the Underground Facility in question and conditions affected by its presence have been adequately documented, and analyzed on a preliminary basis, then the Engineer may at its discretion instruct Contractor to resume such Work.
- F. **Possible Price and Times Adjustments**
1. Contractor shall be entitled to an equitable adjustment in the Contract Price or Contract Times, to the extent that any existing Underground Facility at the Site that was not shown

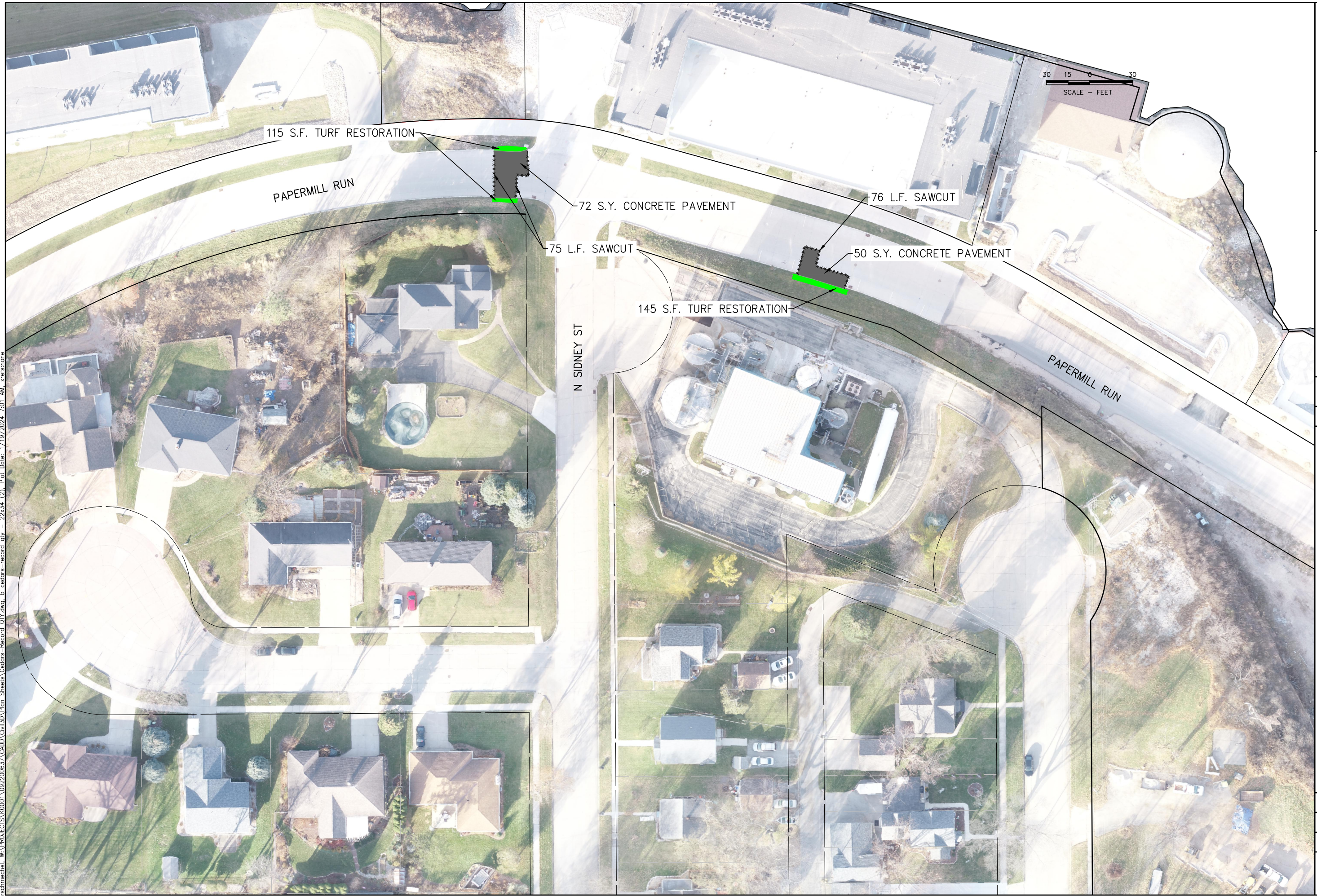
or indicated on the Drawings, or was not shown or indicated with reasonable accuracy, or any related delay, disruption, or interference, causes an increase or decrease in Contractor's cost of, or time required for, performance of the Work; subject, however, to the following:

- a. With respect to Work that is paid for on a unit price basis, any adjustment in Contract Price will be subject to the provisions of Paragraph 13.03;
 - b. Contractor's entitlement to an adjustment of the Contract Times is subject to the provisions of Paragraphs 4.05.D and 4.05.E; and
 - c. Contractor gave the notice required in Paragraph 5.05.B.
2. If Owner and Contractor agree regarding Contractor's entitlement to and the amount or extent of any adjustment in the Contract Price or Contract Times, then any such adjustment will be set forth in a Change Order.
 3. Contractor may submit a Change Proposal regarding its entitlement to or the amount or extent of any adjustment in the Contract Price or Contract Times, no later than 30 days after Owner's issuance of the Owner's written statement to Contractor regarding the Underground Facility in question.
 4. The information and data shown or indicated on the Drawings with respect to existing Underground Facilities at the Site is based on information and data (a) furnished by the owners of such Underground Facilities, or by others, (b) obtained from available records, or (c) gathered in an investigation conducted in accordance with the current edition of ASCE 38, Standard Guideline for the Collection and Depiction of Existing Subsurface Utility Data, by the American Society of Civil Engineers. If such information or data is incorrect or incomplete, Contractor's remedies are limited to those set forth in this Paragraph 5.05.F.

5.06 *Hazardous Environmental Conditions at Site*

- A. *Reports and Drawings:* The Supplementary Conditions identify:
 1. those reports known to Owner relating to Hazardous Environmental Conditions that have been identified at or adjacent to the Site;
 2. drawings known to Owner relating to Hazardous Environmental Conditions that have been identified at or adjacent to the Site; and
 3. Technical Data contained in such reports and drawings.
- B. *Reliance by Contractor on Technical Data Authorized:* Contractor may rely upon the accuracy of the Technical Data expressly identified in the Supplementary Conditions with respect to such reports and drawings, but such reports and drawings are not Contract Documents. If no such express identification has been made, then Contractor may rely on the accuracy of the Technical Data as defined in Paragraph 1.01.A.46.b. Except for such reliance on Technical Data, Contractor may not rely upon or make any claim against Owner or Engineer, or any of their officers, directors, members, partners, employees, agents, consultants, or subcontractors, with respect to:
 1. the completeness of such reports and drawings for Contractor's purposes, including, but not limited to, any aspects of the means, methods, techniques, sequences and procedures

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NO.	DATE	REVISION

SUNSET DRIVE STREET RECONSTRUCTION
 Village Of Kimberly, Outagamie County, WI
 CEDARS PAVEMENT RECORDS

DESIGNED	DRAWN
#	#
PROJECT NO. K0001 09-22-00937	
DATE 2023	
SHEET NO. B	

REGULAR MEETING OF THE KIMBERLY WATER COMMISSION
MINUTES
November 14, 2023

Chairman Johnson called the meeting to order at 11:00 am. Commissioner Steinen, Hanson and Hietpas appeared in person. Also attending the meeting were Administrator Mahoney, Water Superintendent Verstegen, McMahon Associates Construction Manager Jeffrey Kellner, and Utility Billing Clerk Firchow.

Approval of Minutes from the October 24, 2023, Special Meeting

Commissioner Hanson moved, Steinen seconded the motion to approve the Water Commission minutes of the October 24, 2023, special meeting. The motion carried by unanimous vote of the Commission.

Unfinished Business

None

New Business

Bills and Claims, and Financial Statements for the month of September 2023

Commissioner Steinen moved, Hietpas seconded the motion to approve the Bills and Claims, and Financial Statements for the month of September 2023. The motion carried by unanimous vote of the Commission.

Certificate of Payment #4 to V & T Painting, LLC

A revised cover letter for the Certificate of Payment #4 to V & T Painting, LLC was presented with a change to payment distribution. Part of the payment is to be a joint check payable to V & T Painting, LLC and Tnemec Company, Inc., with no change made to the total payment amount of the certificate. McMahon Associates Construction Manager Kellner reported a portion of the project funds have been retained as there are some minor items for completion come spring, and there were some small adjustments to the project total for minor damage to insulation and garbage that was placed in incorrect containers resulting in staff needing to take time to correct it. Administrator Mahoney reported there will be a change order to reduce the allowance for the generators, repairs, and include an extended completion date. Construction Manager Kellner noted generators will be installed by a local vendor. Commissioner Steinen moved, Hietpas seconded the motion to approve the Certificate of Payment #4 to V & T Painting, LLC in the amount of \$52,239.00 for the Tower #2 Water Tank Repainting. The motion carried by unanimous vote of the Commission.

Review 2024 Administrator Final Recommended Budget

Administrator Mahoney presented the 2024 Administrator Final Recommended Budget, reporting no changes from the previously approved budget and informed the commission that the budget would be presented at the public hearing on Monday, November 20th.

Administrator Mahoney also reported the auditors have completed the fieldwork for the 2022 Audit.

Reports

Midwest Contract Operations, Inc.

Superintendent Verstegen reported a main break on Willow Street, staff is working on meter changes, cross connections, plant maintenance, and the chlorine pump at Well #1 has been replaced. Superintendent Verstegen presented a rate comparison list and Public Service Commission Rate Files for Kimberly Municipal Water Utility, Darboy Joint Sanitary District No. 1 and Village of Combined Locks as follow up on the rate comparison discussion at the last meeting. Wholesale rates for Darboy and Combined Locks were reviewed in comparison to volume rates charged to their residents. Discussion followed regarding an anticipated change to the tiered volume rates by the Public Service Commission to encourage water conservation.

2024 Regular Meeting Schedule for the Kimberly Water Commission

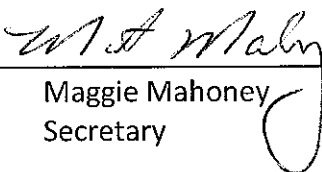
The 2024 Regular Meeting Schedule was presented.

Public Participation

None

Adjournment

Commissioner Steinen moved, Hietpas seconded the motion to adjourn. The motion carried by unanimous vote and the Commission adjourned at 11:23 am.



Maggie Mahoney
Secretary

Dated November 21, 2023

Drafted by MMF

Approved by Water Commission on 12-12-2023

REGULAR MEETING OF THE KIMBERLY WATER COMMISSION
MINUTES
December 12, 2023

Chairman Johnson called the meeting to order at 11:00 am. Commissioner Steinen and Hanson appeared in person. Commissioner Hietpas appeared remotely. Also attending the meeting were Administrator Mahoney, Water Superintendent Verstegen, Utility Billing Clerk Firchow, and McMahon Associates Senior Construction Manager Jeffrey Kellner.

Approval of Minutes from the November 14, 2023, Meeting

Commissioner Hanson moved, Steinen seconded the motion to approve the Water Commission minutes of the November 14, 2023, meeting. The motion carried by unanimous vote of the Commission.

Unfinished Business

None

New Business

Bills and Claims, and Financial Statements for the month of October 2023

Commissioner Steinen moved, Hanson seconded the motion to approve the Bills and Claims, and Financial Statements for the month of October 2023. The motion carried by unanimous vote of the Commission.

Change Order #2 to V & T Painting, LLC to decrease contract amount by \$41,800.00 and change completion date to November 21, 2023, for the Tower #2 Water Tank Repainting Project

McMahon Associates Senior Construction Manager, Jeffrey Kellner, provided an update on the project, reporting on remaining punch list items and that these items are to be completed in spring. Also reported was that a payment certificate will be presented at the next meeting with the recommendation that \$10,000.00 be withheld until the remaining items are completed. Change Order #2 to V & T Painting, LLC was reviewed decreasing the contact amount for funds allowed for generators and several miscellaneous items. Commissioner Steinen moved, Hanson seconded the motion to approve Change Order #2 to V & T Painting, LLC to decrease contract amount by \$41,800.00 for the Tower #2 Water Tank Repainting Project. The motion carried by unanimous vote of the Commission.

Generator Purchase and Installation for Water Tower #1

Superintendent Verstegen presented bids received for the generator at Tower #1, noting that Tower #2 would have power supplied by the generator at the public works building. Bids were reviewed for the Tower #1 generator and Superintendent Verstegen recommended accepting the Quantum Electrical Solutions bid of \$8,081.00 plus additional charges for piping. Commission Hietpas questioned which yearly budget this would affect, and Administrator

Mahoney reported that a resolution of funds would be submitted to the Village Board for approval to move funds from 2023 to the 2024 budget. Commission Steinen moved, Hanson seconded the motion to approve the bid of \$8,081.00 plus additional piping costs, from Quantum Electrical Solutions for the generator purchase and installation for Water Tower #1. The motion carried by unanimous vote of the Commission.

Reports

Administrator

Administrator Mahoney's updates on the 2022 audit and PFAS Settlements were presented.

Midwest Contract Operations, Inc.

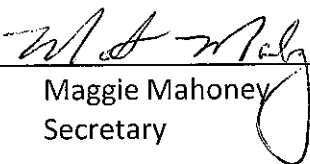
Superintendent Verstegen reviewed the process of checking resin capacity, reporting that testing will take place over the next couple of months at both the Fulcer and Lincoln Street Wells. Superintendent Verstegen noted that the resin replacement at Fulcer is budgeted for 2024, but testing may show it to be cost effective to replace Lincoln in 2024 and move Fulcer to 2025. Residential meters have been ordered and are anticipated to arrive on the 18th. There was a private side break, with lead, on Main Street resulting in new water service pulled for both the public and private side and one additional break on Jefferson Place was reported.

Public Participation

None

Adjournment

Commissioner Steinen moved, Hanson seconded the motion to adjourn. The motion carried by unanimous vote and the Commission adjourned at 11:23 am.


Maggie Mahoney
Secretary

Dated December 14, 2023

Drafted by MMF

Approved by Water Commission on 1-9-24

**Village of Kimberly
Plan Commission
Minutes
OCTOBER 3, 2023**

President Kuen called the meeting to order at 6:00 p.m. Commissioners present were Dean Schiesl, Jeremy Freund, Norb Karner, Danielle Block, Todd Schneider, and Dave Vander Velden. Also in attendance were Director of Public Works/Zoning Administrator Ulman, Administrator/Community Development Director Mahoney, and Brad Werner, with McMahon and Associates.

Approval of Minutes from the 07-18-2023 Meeting

Karner moved, Vander Velden seconded motion to approve the minutes from the 07-18-2023 Plan Commission Meeting. The motion was carried by unanimous vote.

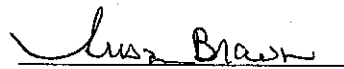
New Business for Consideration and Approval

Proposed Changes in The Blue PUD Development:

- 1) Reducing the number of single-family units along Wilson St. by 2, for a total of 8 instead of 10.
- 2) No change to front or rear yard setbacks.
- 3) Currently these units have 8.5 ft side yard setbacks. They propose increasing the side yard setbacks from 6 units to 9 ft and reducing the side yard setback on 2 units to 8 ft. The current and proposed side yard setbacks are following the zoning code side yard setback, with the minimum of 6 ft for one side and 14 ft for both sides.

A short discussion was conducted by the plan commissioners regarding the changes. Commissioner Karner moved, Commissioner Vander Velden seconded the motion to approve the proposed changes in The Blue PUD Development. The motion was approved unanimously by the commission.

Commissioner Karner moved, Freund seconded the motion to adjourn at 6:04. The motion was carried by unanimous vote.



Susan Brown
Deputy Clerk-Treasurer

**Village of Kimberly
Plan Commission
Minutes
December 19, 2023**

President Kuen called the meeting to order at 6:00 p.m. Appearing in person were President Kuen, Commissioner Schiesl, Commissioner Freund, Commissioner Karner, Commissioner Schneider and Commissioner Vander Velden, Commissioner Block was absent and excused. Also in attendance were Director of Public Works/Zoning Administrator Ulman, Administrator/Community Development Director Mahoney and Community Enrichment Director Femal.

Approval of Minutes from the 10-03-2023 Meeting

Commissioner Karner moved, Commissioner Vander Velden seconded the motion to approve the minutes from the 10-03-2023 Plan Commission Meeting. The motion carried by unanimous vote.

New Business for Consideration and Approval
2024-2029 Comprehensive Outdoor Recreation Plan

Commissioner Vander Velden moved, Commissioner Schneider seconded the motion to approve the 2024-2029 Comprehensive Outdoor Recreation Plan. A short discussion was conducted by the plan commissioners regarding the plan. It was mentioned that this plan is just a tool and guideline for the Village to follow for outdoor plans for the upcoming seasons, but nothing is set in stone and no budgetary items included in the plan document necessarily identifies a funding source. The motion carried by unanimous vote.

Adjournment

Commissioner Karner moved, Commissioner Schiesl seconded the motion to adjourn. The motion carried by unanimous vote at 6:09 p.m.


Erica Ziegert
Deputy Clerk